

An
Bord
Pleanála

Strategic Housing Development

Application Form

Before you fill out this form

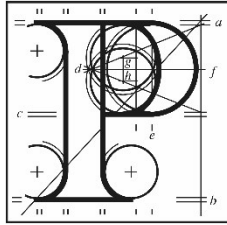
Please note that failure to complete this form or attach the necessary documentation, or the submission of incorrect information or omission of required information, will lead to An Bord Pleanála refusing to deal with your application. Therefore, ensure that each section of this request form is fully completed and signed, entering n/a (not applicable) where appropriate, and that all necessary documentation is attached to the application form. You are advised to refer to the “General Guidance Note” provided on pages 27 to 29 prior to completing this form.

Other Statutory Codes

An applicant will not be entitled solely by reason of a planning permission to carry out the development. The applicant may need other statutory consents, depending on the type of development. For example, all new buildings, extensions and alterations to, and certain changes of use of existing buildings must comply with building regulations, which set out basic design and construction requirements

Data Protection

It is the responsibility of persons or entities wishing to use any personal data on a planning application form for direct marketing purposes to be satisfied that they may do so legitimately under the requirements of the Data Protection Acts 1988 and 2003. The Office of the Data Protection Commissioner state that the sending of marketing material to individuals without consent may result in action by the Data Protection Commissioner against the sender, including prosecution.



An
Bord
Pleanála

Application Form in respect of a Strategic Housing Development

Contact details for sections 1 to 4 to be supplied in Section 26 of this form.

1. Applicant:

Name of Applicant:	Cairn Homes Properties Ltd.
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2. Where the Applicant is a Company (Registered under the Companies Acts):

Registered Address of Company:	7 Grand Canal, Grand Canal Street Lower, Dublin 2 D02 KW81
Company Registration No:	552325

3. Name of Person/Agent (if any) Acting on Behalf of the Applicant:

Name:	Cáit Marley (Agent) MCG Planning
Is An Bord Pleanála to send all correspondence to the above person/agent acting on behalf of the applicant? (Please tick appropriate box)	Yes: [X] No: [] (Please note that if the answer is "No", all correspondence will be sent to the applicant's address)

4. Person Responsible for Preparation of Drawings and Plans:

Name:	Dominika Manulak
Firm/Company:	Reddy Architecture and Urbanism

5. Planning Authority

Name of the Planning Authority(s) in whose functional area the site is situated:	Dun Laoghaire Rathdown County Council
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6. Site of Proposed Strategic Housing Development:

Postal Address /Townland/ Location of the Proposed Development (sufficient to identify the site in question):	
Address Line 1:	“Barrington Tower”
Address Line 2:	Brennanstown Road,
Address Line 3:	
Town/City:	Dublin 18.
County:	Ireland
Eircode:	
Ordnance Survey Map Ref. No. (and the Grid Reference where available)	License no. - CYAL50196301 Grid Reference - 722613.0, 724266.5
Where available, please provide the application site boundary, as shown in the submitted plans / drawings, as an ESRI shapefile in the Irish Transverse Mercator (ITM IRENET95) co-ordinate reference system. Alternatively, a CAD file in .dwg format, with all geometry referenced to ITM, may be provided.	
Area of site to which the application relates in hectares:	3.81 ha
Site zoning in current Development Plan or Local Area Plan for the area:	County Development Plan 2016-2022: <i>‘To protect and/or improve residential amenity’.</i> County Development Plan 2022-2028: <i>‘To provide residential development and/or protect and-improve residential amenity while protecting the existing residential amenities’</i>

Existing use(s) of the site and proposed use(s) of the site:	Existing: Vacant/Derelict residential site Proposed: Residential
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7. Applicant's Interest in the Site:

Please tick appropriate box to show the applicant's legal interest in the land or structure:	Owner	Occupier	Other
	X		X

Where legal interest is "Other", please expand further on the applicant's interest in the land or structure:

Please refer to Appendix B for letter of consent from Dun Laoghaire Rathdown.

State Name and Address of the Site Owner:
If the applicant is not the legal owner, please note that you are required to supply a letter of consent, signed by the site owner.

Cairn Homes Properties Limited,
7 Grand Canal,
Grand Canal Street Lower,
Dublin 2
D02 KW81

Does the applicant own or control adjoining, abutting or adjacent lands?

Yes: [X] No: []

If the answer is "Yes" above, identify the lands and state the nature of the control involved:

Please refer to the Site Location Map submitted with this application which outlines the lands in control of Cairn Homes Properties Limited in blue.

8. Site History:

Is the applicant aware of any valid planning applications or An Bord Pleanála decisions previously made in respect of this land / structure?		Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
<p>Note: If an application for permission for strategic housing development or a planning application under section 34 of the Planning and Development Act 2000 has been made in respect of this site in the 6 months prior to the submission of this application, the site notice for the current application in respect of strategic housing development must be on a yellow background.</p>		
If the answer is “Yes” above, please state the planning register reference number(s) / An Bord Pleanála reference number(s) of same, if known, and details of application(s) / appeal(s):		
Reg. Ref. No. / An Bord Pleanála Ref. No.	Nature of Proposed Development	Final Decision by Planning Authority / An Bord Pleanála
DLRCC REF: D07A/0161 ABP REF: PL06D.227861	Demolish dwelling ‘Winterbrook’, construct 158 no. residential units, 2 new entrances onto Brennanstown Rd and associated works on lands adjacent to ‘Barrington Tower’, a protected structure. Barrington Tower, Brennanstown Road, Cabinteely, Dublin 18.	Grant Permission with conditions
D07A/0161/E	Demolish dwelling ‘Winterbrook’, construct 158 no. residential units, 2 new entrances onto Brennanstown Rd and associated works on lands adjacent to ‘Barrington Tower’, a protected structure. Barrington Tower, Brennanstown Road, Cabinteely, Dublin 18.	Grant Extension of Duration of Permission
D10A/0104	Retention permission was sought for an electrical substation & ESB room to serve the new Luas Green Line (Line B1) tramway extension comprising a single storey concrete structure approx area 218 sq.m and hard surfaced service compound all within a metal/part timber fence enclosure, surface water drainage and associated site works.	Refuse Permission for Retention

D11A/0127	Retention permission was sought for an electrical substation & ESB room to serve the new Luas Green Line (Line B1) tramway extension comprising a single storey concrete structure approx area 218 sq.m and hard surfaced service compound all within a metal/part timber fence enclosure, surface water drainage and associated site works.	Grant Permission for Retention
Is the site of the proposed development subject to a current appeal to An Bord Pleanála?		Yes: [] No: [X]
If the answer is "Yes" above, please specify the An Bord Pleanála reference no.:		
Is the applicant aware of any other relevant recent planning applications or decisions by An Bord Pleanála in relation to adjoining or adjacent sites?		Yes: [] No: [X]
If the answer is "Yes" above, please state the planning register reference number(s) / An Bord Pleanála reference number(s) of same, if known, and details of application(s) / appeal(s):		
Is the applicant aware of the site ever having been flooded?		Yes: [] No: [X]
If the answer is "Yes" above, please give details e.g. year, extent:		
Is the applicant aware of previous uses of the site e.g. dumping or quarrying?		Yes: [] No: [X]
If the answer is "Yes" above, please give details:		

9. Description of the Proposed Strategic Housing Development:

Please provide a brief description of the nature and extent of the proposed development, including-

- the proposed types and numbers of houses, student accommodation or both,
- in the case of student accommodation units, the combined number of bedspaces, and any other uses to which those units may be put,
- proposed services ancillary to residential development,
- other proposed uses in the development of the land, the zoning of which facilitates such use, and
- where an Environmental Impact Assessment Report or Natura Impact Statement has been prepared in respect of the application, an indication of that fact.

The development will include the demolition of an existing habitable dwelling “Winterbrook”, and the derelict, former dwelling attached to Barrington Tower protected structure. ‘Barrington Tower’ itself will be retained and restored. It is also proposed to demolish the existing boundary wall to the north of the site along Brennanstown Road.

The development will provide a ‘Build to Rent’ (BTR) apartment development consisting of 8 no. blocks ranging in height up to 10 storeys (including lower ground floor) providing a total of 534 no. apartments. This will comprise of:

- 30 no. studio, 135 no. 1 -beds, 318 no. 2-beds & 51 no. 3-beds. All residential units provided with associated private balconies/terraces to the north/south/east/west elevations.
- Resident Support Facilities & Resident Services & Amenities (total floor area c.1,496 sq.m) including flexible spaces including entertainment rooms, meeting rooms, parcel rooms, media rooms, lounge and workspaces, gyms and studio, chef’s kitchen and dining area.
- A creche (c.356.5 sq.m), and a retail unit (c.336.8 sq.m).
- Car and cycle parking at basement (2 levels) and at ground level. This will provide 419 no. car parking spaces, 1,266 no. cycle parking spaces and 17 no. motorcycle spaces.
- All associated site development works, open spaces and landscaping, boundary treatments, plant areas, waste management areas, cycle parking areas, and services provision (including ESB substations).

Please submit a site location map sufficient to identify the land, at appropriate scale.

Enclosed:

Yes: [X] No: []

Please submit a layout plan of the proposed development, at appropriate scale.

Enclosed:

Yes: [X] No: []

10. Pre-Application Consultations

(A) Consultation with Planning Authority:	
State the date(s) and planning authority reference number(s) of the consultation meeting(s) held with the planning authority under section 247 of the Planning and Development Act 2000:	
Planning Authority reference number:	PAC/SHD/219/20
Meeting date(s):	1 st of October 2020
(B) Consultation with An Bord Pleanála:	
State the date(s) and An Bord Pleanála reference number(s) of the pre-application consultation meeting(s) with An Bord Pleanála:	
An Bord Pleanála reference number:	ABP-311304-21
Meeting date(s):	15th November, 2021
(C) Any Consultation with Prescribed Authorities or the Public:	
Provide details of any other consultations the applicant had with authorities prescribed under section 8(1)(b) and (c) of the Act of 2016 or with the public:	

11. Application Requirements

(a) Is a copy of the page from the newspaper containing the notice relating to the proposed strategic housing development enclosed with this application?	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
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<p>If the answer to above is “Yes”, state name(s) of newspaper(s) and date(s) of publication:</p>	<p>8th April 2022 Irish Daily Star</p>
<p>(b) Is a copy of the site notice relating to the proposed development enclosed with this application?</p>	<p>Enclosed: Yes: [X] No: []</p>
<p>If the answer to above is “Yes”, state date on which the site notice(s) was erected:</p>	<p>7th April 2022</p>
<p>Note: The location of the site notice(s) should be shown on the site location map enclosed with this application.</p>	
<p>(c) Is an Environmental Impact Assessment Report (EIAR) required for the proposed development?</p>	<p>Yes: [X] No: []</p>
<p>If the answer to above is “Yes”, is an EIAR enclosed with this application?</p>	<p>Enclosed: Yes: [X] No: []</p>
<p>Please provide a copy of the Confirmation Notice obtained from the EIA Portal where an EIAR accompanies the application.</p>	<p>Enclosed: Yes: [X] No: []</p>
<p>(d) Is the proposed development, in whole or in part, within or close to a European site or Natural Heritage Area?</p>	<p>Yes: [] No: [X]</p>
<p>(e) Is a Natura Impact Statement (NIS) required for the proposed development?</p>	<p>Yes: [X] No: []</p>
<p>If the answer to above is “Yes”, is an NIS enclosed with this application?</p>	<p>Yes: [X] No: []</p>
<p>(f) Has a copy of this application, and any EIAR and/or NIS required, been sent to the relevant planning authority, in both printed and electronic form?</p>	<p>Yes: [X] No: []</p>
<p>(g) Has a copy of this application, and any EIAR and/or NIS required, together with a notice stating that submissions or observations may be made in writing</p>	

<p>to An Bord Pleanála (ABP) during the period of 5 weeks from the receipt by ABP of the application, been sent to the relevant prescribed authorities, in both printed and electronic format?</p>	<p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] N/A: [<input type="checkbox"/>]</p>
<p>If the answer to the above is “Yes”, list the prescribed authorities concerned:</p>	<ol style="list-style-type: none"> 1. National Transport Authority 2. Irish Water 3. Transport Infrastructure Ireland 4. The Minister for Culture, Heritage and the Gaeltacht, 5. The Heritage Council 6. An Taisce — the National Trust for Ireland 7. Fáilte Ireland 8. Dun Laoghaire Rathdown County Childcare Committee <p>Please note these authorities have requested soft copies only of the application. See Appendix D</p>
<p>If the answer to the above is “Yes”, state the date on which the required documents and electronic copy were sent to the relevant prescribed authorities:</p>	<p>11th April 2022</p>
<p>(h) Is the proposed development likely to have significant effects on the environment of a Member State of the European Union or a state that is a party to the Transboundary Convention?</p>	<p>Yes: [<input type="checkbox"/>] No: [<input checked="" type="checkbox"/>]</p>
<p>If the answer to the above is “Yes”, has a copy of this application, and the accompanying EIAR, together with a notice stating that submissions or observations may be made in writing to An Bord Pleanála (ABP) during the period of 5 weeks from the receipt by ABP of the application, been sent to the relevant authority in the state or states concerned, in both printed and electronic format?</p>	<p>Yes: [<input type="checkbox"/>] No: [<input type="checkbox"/>] N/A</p>
<p>If the answer to the above is “Yes”, list the state(s) and the prescribed authorities concerned:</p>	<p>N/A</p>

If the answer to the above is "Yes", state the date on which the required documents and electronic copy were sent to the relevant prescribed authorities:	N/A
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12. Statements Enclosed with the Application Which:

<p>(a) Set out how the the proposed strategic housing development is consistent with the relevant objectives of the relevant development plan:</p>	<p>Enclosed: Yes: [X] No: [] Please refer to Chapter 8 and Chapter 10 of the Planning Report by McGill Planning Ltd</p>
<p>Note: The statement should be accompanied by a list of each relevant development plan objective considered by the prospective applicant in making the statement and proposals forming part of the application that demonstrate the consistency of the proposed development with that objective.</p>	
<p>(b) Set out, where applicable how the proposed strategic housing development will be consistent with the objectives of the relevant local area plan:</p>	<p>Enclosed: Yes: [X] No: [] Please refer to the Planning Report by McGill Planning Ltd</p>
<p>Note: The statement should be accompanied by a list of each relevant local area plan objective considered by the prospective applicant in making the statement and any proposals forming part of the application that demonstrate the consistency of the proposed development with that objective.</p>	
<p>(c) Set out, where applicable that the proposed strategic housing development is, in the applicant's opinion, consistent with the planning scheme for a strategic development zone:</p>	<p>Enclosed: Yes: [X] No: [] N/A: [] A small portion of the site (203 sqm) lies within the Cherrywood SDZ. Please refer to the Planning Report by McGill Planning Ltd</p>
<p>Note: The statement should be accompanied by a list of the principal provisions of the planning scheme considered by the prospective applicant in making the statement.</p>	
<p>(d) Set out how the the proposed strategic housing development is, in the applicant's opinion, consistent with any relevant guidelines issued by the Minister under section 28 of the Act of 2000:</p>	<p>Enclosed: Yes: [X] No: [] N/A: [] Please refer to Chapter 6 of the</p>

	Planning Report by McGill Planning Ltd
<p>Note: The statement should be accompanied by a list of the guidelines considered by the applicant in making the statement and proposals forming part of the application that demonstrate the consistency of the proposed development with the guidelines.</p>	
<p>(e) Where An Bord Pleanála notified the applicant of its opinion that the documents enclosed with the request for pre-application consultations required further consideration and amendment in order to constitute a reasonable basis for an application for permission, a statement setting out any changes made to the proposals in consequence.</p>	<p>Enclosed: Yes: [X] No: [] N/A: []</p> <p>Please refer to Chapter 6 of the Planning Report by McGill Planning Ltd</p>
<p>(f) Where An Bord Pleanála notified the applicant that specified additional information should be submitted with any application for permission, a statement setting out that such information accompanies the application.</p>	<p>Enclosed: Yes: [X] No: [] N/A: []</p> <p>Please refer to Chapter 6 of the Planning Report by McGill Planning Ltd</p>

13. Material Contravention of Development Plan/Local Area Plan:

<p>Where the proposed strategic housing development materially contravenes the relevant development plan or local area plan other than in relation to the zoning of land, is a statement included with the application indicating the plan objective concerned and why permission should, nonetheless, be granted, having regard to a consideration specified in section 37(2)(b) of the Act of 2000?</p>	<p>Enclosed: Yes: [X] No: []</p> <p>Please refer to Chapter's 9 and 11 of the Planning Report by McGill Planning Ltd</p>
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14. Proposed Residential Development:

- (a) Provide a breakdown of the proposed residential content of the strategic housing development, as follows:

Houses		
Unit Type	No. of Units	Gross floor space in m ²

1-bed	-	-
2-bed	-	-
3-bed	-	-
4-bed	-	-
4+ bed	-	-
Total	-	-

Apartments		
Unit Type	No. of Units	Gross floor space in m²
Studio	30	1200 m ²
1-bed	135	6783.1 m ²
2-bed	318	25163 m ²
3-bed	51	5659.8 m ²
4-bed	-	-
4+ bed	-	-
Total	534	38805.9 m²

Student Accommodation			
Unit Types	No. of Units	No. of Bedspaces	Gross floor space in m²
Studio	-	-	-
1-bed	-	-	-
2-bed	-	-	-
3-bed	-	-	-
4-bed	-	-	-
4+ bed	-	-	-

Total	-	-	-
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(b) State total number of residential units in proposed development:	534
(c) State cumulative gross floor space of residential accommodation, in m ² :	c.38805.9 m ²

15. Proposed Ancillary and Other Uses in the Proposed Strategic Housing Development:

(a) Please provide details of the different classes of development proposed as ancillary to residential development and other uses on the land, the zoning of which facilitates such uses, as follows:	
Class of Development:	Gross Floor Space in m²
Creche (99 no. of childcare spaces)	c. 336.8 m ²
Retail	c. 356.5 m ²
ESB Substation	c. 134 m ²
Bin/Bike stores	c. 1559 m ²
Residential amenities	c. 1496 m ²
Note: Where it is not proposed to provide one childcare facility for each 75 houses in the proposed development, the application should be accompanied by a statement of the rationale for this.	
(b) State cumulative gross floor space of non-residential development in m ² :	c. 17,016.6 m²
(c) State cumulative gross floor space of residential accommodation and other uses in m ² :	c. 70,988.8 m²
(d) Express 15(b) as a percentage of 15(c):	24%

16. Strategic Housing Development Details:

Note: If the answer to any of the below statements is “Yes”, please submit a brief statement in support of your application.

Please tick appropriate box:	Yes	No
(a) Are details of housing density, plot ratio, site coverage, building heights, proposed layout and aspect enclosed with the application?	X Please refer to Reddy Architecture pack	
(b) Are details of public and private open space provision, landscaping, play facilities, pedestrian permeability, vehicular access and parking provision, where relevant, enclosed with the application?	X Please refer to Murray & Associates Landscape Pack	
(c) Are details of any proposals to address or, where relevant, integrate the proposed development with surrounding land uses enclosed with the application?	X Please refer to Reddy Architecture pack	
(d) Are details of any proposals to provide for services infrastructure other than water, such as cabling (including broadband provision) and any phasing proposals enclosed with the application?	X Please refer to Waterman Moylan Engineering Pack	
(e) Does the proposed development include an activity requiring an integrated pollution control licence or a waste licence? If "Yes", enclose a brief explanation with this application.		X
(f) Does the proposed development involve the demolition of any structure (including a habitable house), in whole or in part? If "Yes", enclose a brief explanation with this application.	X The development will include the demolition of an existing habitable dwelling "Winterbrook", and the derelict, former dwelling attached to Barrington Tower protected structure.	

<p>(g) Does the proposed development involve the demolition of a Protected Structure(s), in whole or in part?</p> <p>If “Yes”, an explanation as to the need for the demolition of a Protected Structure(s) should be enclosed with this application.</p>		<p>X Development includes demolition of former dwelling attached to Barrington Tower protected structure. Please refer to Architectural Heritage Impact Assessment by HHC</p>
<p>(h) Does the proposed development consist of work to a Protected Structure and/or its curtilage or proposed Protected Structure and/or its curtilage?</p> <p>If “Yes”, provide photographs, plans and other particulars necessary to show how the proposed development would affect the character of the structure.</p>	<p>X Development includes demolition of former dwelling attached to Barrington Tower protected structure. Please refer to Architectural Heritage Impact Assessment by HHC</p>	
<p>(i) Does the proposed development consist of work to the exterior of a structure which is located within an architectural conservation area (ACA)?</p> <p>If “Yes”, provide photographs, plans and other particulars necessary to show how the proposed development would affect the character of the structure.</p>		<p>X</p>
<p>(j) Does the proposed application development affect, or is close to, a national monument or place in the ownership or guardianship of the Minister for Culture, Heritage and the Gaeltacht or a local authority, or is it the subject of a preservation order or temporary preservation order under the National Monuments Acts 1930 to 2014?</p>		<p>X</p>

<p>If "Yes", enclose a brief explanation with this application.</p>		
<p>(k) Is the proposed development in a Strategic Development Zone?</p> <p>If "Yes", enclose a statement of how the proposed development is consistent with the planning scheme for the Zone.</p>		<p>X A small portion of the site (203 sqm) lies within the Cherrywood SDZ. Please refer to the Planning Report by McGill Planning Ltd</p>
<p>(l) Do any statutory notices (e.g. Fire Safety, Enforcement, Dangerous Buildings, Derelict Sites, Building Control, etc.) apply to the site and/or any building thereon?</p> <p>If "Yes", enclose details with this application.</p>		<p>X</p>
<p>(m) Do the Major Accident Regulations apply to the proposed development?</p>		<p>X</p>
<p>(n) Is information specified by An Bord Pleanála as necessary for inclusion in any application for permission for the proposed development, so included?</p> <p>If "Yes", give details of the specified information accompanying this application.</p>	<p>X Please refer to Appendix A – list of enclosures</p>	

17. Where the Proposed Development Relates to Existing Building(s) / Structure(s):

State gross floor space of any existing building(s) / structure(s) in m ² :	c. 695.7m ²
State gross floor space of any proposed demolition, in m ² :	c. 661.9 m ²
State gross floor space of any building(s) / structure(s) to be retained in m ² :	c. 33.8 m ²
State total gross floor space of proposed works in m ² :	c.33.8 m ²

18. Where the Application relates to Material Change of Use of Land or Structure:

(a) State existing use of land or structure:	Partial Greenfield Site
(b) Where the existing land or structure is not in use, state the most recent authorised use of the land or structure:	Residential development, as granted by DLR and ABP
(c) State proposed use(s):	Residential development of 534 units with childcare facility, retail unit, public open space, residential amenities, ESB substation
(d) State nature and extent of any such proposed use(s):	Please see development description
(e) Plans (including a site or layout plan and drawings of floor plans, elevations and sections that comply with the requirements of Article 297 and 298) and other particulars required describing the works proposed should be enclosed with this application: Enclosed: Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/> N/A: <input type="checkbox"/>	

19. Social Housing (Part V)

Please tick appropriate box:	Yes	No
(a) Does Part V of the Planning and Development Act 2000 apply to the proposed development?	X	
(b) If the answer to Question 19(A) is “Yes”, are details enclosed as to how the applicant proposes to comply with section 96 of Part V of the Act including, for example— (i) details of such part or parts of the land for the proposed development or is or are specified by the Part V agreement, or houses situated on such aforementioned land or elsewhere in the planning authority’s functional area proposed to be transferred to the planning authority, or details of houses situated on such aforementioned land or elsewhere in the planning authority’s functional area proposed to be leased to the planning authority, or details of any combination of the foregoing, and	X	
(ii) details of the calculations and methodology for calculating values of land, site costs, normal construction and development costs and profit on those costs and other related costs such as an appropriate share of any common development works as required to comply with the provisions in Part V of the Act, and	X	
(iii) a layout plan showing the location of proposed Part V units in the development?	X	
(c) If the answer to Question 19(A) is “No” by virtue of section 96(13) of the Planning and Development Act 2000, details must be enclosed with this application form indicating the basis on which section 96(13) is considered to apply to the development.		

20. Water Services:

(A) Proposed Source of Water Supply:

Please indicate as appropriate:

(a) Existing Connection: New Connection:

(b) Public Mains:

Group Water Scheme: Name of Scheme: _____

Private Well:

Other (please specify): _____

(B) Proposed Wastewater Management / Treatment:

Please indicate as appropriate:

(a) Existing Connection: New Connection:

(b) Public Sewer:

Conventional septic tank system:

Other on-site treatment system (please specify): _____

Where the disposal of wastewater for the proposed development is other than to a public sewer, provide information on the on-site treatment system proposed and evidence as to the suitability of the site for the system proposed:

(C) Proposed Surface Water Disposal:

Please indicate as appropriate:

(a) Public Sewer/Drain:

Soakpit:

Watercourse:

Other (please specify): _____

(D) Irish Water Requirements:

Please submit the following information:

(a) Where the proposed development has the potential to impact on a public water supply source, irrespective of whether or not a connection to a water/wastewater network is required, this application must be accompanied by evidence of engagement with Irish Water and its outcome.

Enclosed:

Yes: [X] No: []

Please refer to Engineering Pack by Waterman Moylan

(b) A current/valid Confirmation of Feasibility Statement from Irish Water in relation to the proposed development confirming that there is or will be sufficient water network treatment capacity to service the development.

Enclosed:

Yes: [X] No: []

Please see Appendix G

(c) A Statement of Compliance with Irish Water's Standard Details and Codes of Practice for water and/or wastewater infrastructure proposals (designs, layouts, etc.).

Enclosed:

Yes: [X] No: []

Please see Appendix H

(d) An indication of timelines and phasing for water demand or wastewater collection requirements, or both, as appropriate.

Enclosed:

Yes: [X] No: []

Please refer to Engineering Pack by Waterman Moylan

(e) Where the proposed development will impact on assets of Irish Water, details of proposals for protection or diversion of such assets.

Enclosed:

Yes: [X] No: []

Please refer to Engineering Pack by Waterman Moylan

21. Traffic and Transportation

<p>(a) Is a Traffic / Transportation Impact Assessment included with the application, having regard to the relevant Development Plan / Local Area Plan requirements and the Traffic Management Guidelines (DoT / DoEHLG / DTO, 2003)?</p>	<p>Enclosed:</p> <p>Yes: [X] No: []</p> <p>Please refer to Engineering Pack by Waterman Moylan</p>
<p>(b) Is a Travel Plan included with the application, having regard to the relevant Development Plan / Local Area Plan requirements?</p>	<p>Enclosed:</p> <p>Yes: [X] No: []</p> <p>Please refer to Engineering Pack by Waterman Moylan</p>
<p>(c) Is a Road Safety Audit included with the application, having regard to the relevant Development Plan / Local Area Plan requirements?</p>	<p>Enclosed:</p> <p>Yes: [X] No: []</p> <p>Please refer to Engineering Pack by Waterman Moylan</p>

22. Taking in Charge

<p>Is it intended that any part of the proposed development will be taken in charge by the planning authority?</p>	<p>Yes: [] No: [X]</p> <p>None of the site is proposed for Taking in Charge. The area which is currently in the charge of Dun Laoghaire Rathdown (for which we have a letter of consent) will remain in the charge of the Council.</p>
<p>If the answer is "Yes", please attach site plan clearly showing area(s) intended for taking in charge.</p>	

23. Maps, Plans and Drawings

<p>List in a schedule accompanying this application all maps, plans and drawings enclosed with the application, stating title, scale and number.</p> <p>Please refer to appendix B of this application form</p>

24. Application Fee:


(a) State fee payable for application:	€ 80,000
(b) Set out basis for calculation of fee:	€130*354 no. units €7.20*17,017sqm EIAR: €10,000 NIS: €10,000 Exceeds max of €80,000
(c) Is the fee enclosed with the application?	Enclosed: Yes: [X] No: []

25. Universal Design:

Please provide a statement as to how the proposed Strategic Housing Development has sought to comply with the principles of Universal Design (to encourage access and use of the development regardless of age, size, ability or disability). For assistance and general information on such matters please refer for example to the National Disability Authority's "Building for Everyone: A Universal Design Approach" and "Universal Design Guidelines for Homes in Ireland" at www.universaldesign.ie	Enclosed: Yes: [X] No: [] Please see Reddys A and U Design Statement
--	--

Declaration

I hereby declare that, to the best of my knowledge and belief, the information given in this form is correct and accurate and fully compliant with the requirements of the Planning and Development Act 2000 and Chapter 1 of Part 2 of the Planning and Development (Housing) and Residential Tenancies Act 2016 and the Regulations made thereunder. In this regard, I also hereby declare that, to the best of my knowledge and belief, the copies of the application documents sent to the planning authority, prescribed bodies, etc., and displayed on any website under the applicant's control are identical to the application documents being deposited with An Bord Pleanála.

Signed: (Applicant or Agent as appropriate)	
Date:	11 th April 2022

26. Contact Details- Not to be Published

Applicant(s):

First Name:	Cairn Homes Properties Limited
Surname:	
Address Line 1:	7 Grand Canal
Address Line 2:	Grand Canal Street Lower
Address Line 3:	
Town / City:	Dublin 2
County:	
Country:	Ireland
Eircode:	D02 KW81
E-mail address (if any):	info@cairnhomes.com
Primary Telephone Number:	01 6964600
Other / Mobile Number (if any):	

Where the Applicant(s) is a Company:

Name(s) of Company Director(s):	Michael Stanley, Sarah Murray, Ian Cahill, Shane Doherty
Company Registration Number (CRO):	552325
Contact Name:	Cliona Eogan
Primary Telephone Number:	01 6964600
Other / Mobile Number (if any):	
E-mail address:	cliona.eogan@cairnhomes.com

Person/Agent (if any) acting on behalf of the Applicant(s):

First Name:	Cait
Surname:	Marley
Address Line 1:	McGill Planning Ltd
Address Line 2:	22 Wicklow Street
Address Line 3:	
Town / City:	Dublin 2
County:	Dublin
Country:	Ireland
Eircode:	D02 VK22
E-mail address (if any):	caitlin@mcgplanning.ie
Primary Telephone Number:	01 2846464
Other / Mobile Number (if any):	087 2441707

Person responsible for preparation of maps, plans and drawings:

First Name:	Dominika
Surname:	Manulak
Address Line 1:	Reddy Architecture + Urbanism
Address Line 2:	Dartry Mills
Address Line 3:	Dartry Road
Town / City:	Dublin 6
County:	
Country:	Ireland
Eircode:	
E-mail address (if any):	dublin@reddyarchitecture.com
Primary Telephone Number:	+ 353 (1) 498 7000
Other / Mobile Number (if any):	

Contact for arranging entry on site, if required:

Name:	Cliona Eogan
Mobile Number:	086 0613684
E-mail address:	cliona.eogan@cairnhomes.com

Appendix A – List of Enclosures

Completed SHD Application Form
Environmental Impact Assessment Report - Vol 1 Main Statement - Vol 2 Appendices - Vol 3 Non-Technical Summary
EIAR Portal Confirmation (Appendix E)
Irish Water Confirmation of Feasibility (Appendix G)
Irish Water Statement of Design Acceptance (Appendix H)
Letter of Consent from Dun Laoghaire Rathdown (Appendix B)
Letter of Email Correspondence with Dun Laoghaire Rathdown (Appendix C)
Part V Pack (Appendix F)
Cheque for €80,000
CD with ITM Co-ordinates
Statutory Notices
Newspaper Notices
Site Notice
McGill Planning
Planning Report including: - Statement of Consistency for DLR Development Plan 2016-2022 - Material Contravention Statement for DLR Development Plan 2016-2022 - Statement of Consistency for DLR Development Plan 2022-2028 - Material Contravention Statement for DLR Development Plan 2022-2028 - Statement of Response to An Bord Pleanála's Opinion
Creche Assessment
Retail Viability Study
Cover Letters to Statutory Consultees
Cover Letter to An Bord Pleanála
Cover Letter to Dun Laoghaire Rathdown County Council

Cairn Homes

- Building Life Cycle Report
- BTR Covenant

Architecture: Reddy Architecture + Urbanism

DRAWING NO.	DRAWING TITLE
GA PLANS	
BRT-1-02-SW-XXX-DR-RAU-AR-1000	TOPOGRAPHY - SITE SURVEY PLAN
BRT-1-02-SW-XXX-DR-RAU-AR-1001	SITE LOCATION PLAN
BRT-1-02-SW-XXX-DR-RAU-AR-1002	PROPOSED DEMOLITION PLAN
BRT-1-02-SW-ZZZ-DR-RAU-AR-1003	PROPOSED SITE PLAN
BRT-1-02-SW-ZZZ-DR-RAU-AR-1200	PROPOSED CONSTRUCTION PHASING PLAN
BRT-1-02-TB-ZZZ-DR-RAU-AR-1101	PROPOSED DEMOLITION - EXISTING PLANS AND ELEVATIONS - BUILDING ATTACHED TO BARRINGTON TOWER
BRT-1-02-AW-ZZZ-DR-RAU-AR-1102	PROPOSED DEMOLITION - EXISTING PLANS AND ELEVATIONS - WINTERBROOK & EXISTING WALL ALONG BRENNANSTOWN ROAD
BRT-1-02-ES-ZZZ-DR-RAU-AR-1103	ANCILLARY BUILDINGS
BRT-1-02-AB-ZZZ-DR-RAU-AR-1004	PROPOSED FLOOR PLANS - BLOCK AB
BRT-1-02-CD-ZZZ-DR-RAU-AR-1005	PROPOSED FLOOR PLANS - BLOCK CD
BRT-1-02-E-ZZZ-DR-RAU-AR-1006	PROPOSED FLOOR PLANS - BLOCK E - LOWER GROUND TO FOURTH FLOOR PLAN
BRT-1-02-E-ZZZ-DR-RAU-AR-1007	PROPOSED FLOOR PLANS - BLOCK E - FIFTH FLOOR TO ROOF PLAN
BRT-1-02-F-ZZZ-DR-RAU-AR-1008	PROPOSED FLOOR PLANS - BLOCK F - LOWER GROUND TO FIFTH FLOOR PLAN
BRT-1-02-F-ZZZ-DR-RAU-AR-1009	PROPOSED FLOOR PLANS - BLOCK F - SIXTH FLOOR TO ROOF PLAN
BRT-1-02-G-ZZZ-DR-RAU-AR-1010	PROPOSED FLOOR PLANS - BLOCK G - LOWER GROUND TO FOURTH FLOOR PLAN
BRT-1-02-G-ZZZ-DR-RAU-AR-1011	PROPOSED FLOOR PLANS - BLOCK G - FIFTH FLOOR TO ROOF PLAN
BRT-1-02-H-ZZZ-DR-RAU-AR-1012	PROPOSED FLOOR PLANS - BLOCK H - GROUND TO SEVENTH FLOOR PLAN
BRT-1-02-H-ZZZ-DR-RAU-AR-1013	PROPOSED FLOOR PLANS - BLOCK H - EIGHT FLOOR TO ROOF PLAN
BRT-1-02-I-ZZZ-DR-RAU-AR-1014	PROPOSED FLOOR PLANS - BLOCK I - LOWER GROUND TO THIRD FLOOR PLAN
BRT-1-02-I-ZZZ-DR-RAU-AR-1015	PROPOSED FLOOR PLANS - BLOCK I - FOURTH FLOOR TO ROOF PLAN
BRT-1-02-J-ZZZ-DR-RAU-AR-1016	PROPOSED FLOOR PLANS - BLOCK J - LOWER GROUND TO SECOND FLOOR PLAN
BRT-1-02-J-ZZZ-DR-RAU-AR-1017	PROPOSED FLOOR PLANS - BLOCK J - THIRD FLOOR TO ROOF PLAN
BRT-1-02-BM-LN2-DR-RAU-AR-1013	PROPOSED FLOOR PLAN - LOWER BASEMENT LEVEL -02
BRT-1-02-BM-LN1-DR-RAU-AR-1014	PROPOSED FLOOR PLAN - UPPER BASEMENT LEVEL -01
BRT-1-02-ZZZ-ZZZ-DR-RAU-AR-1015	PROPOSED APARTMENT TYPES
BRT-1-02-ZZZ-ZZZ-DR-RAU-AR-1016	PROPOSED APARTMENT TYPES
GA ELEVATIONS	
BRT-1-02-AB-ZZZ-DR-RAU-AR-2001	PROPOSED ELEVATIONS - BLOCK AB
BRT-1-02-CD-ZZZ-DR-RAU-AR-2002	PROPOSED ELEVATIONS - BLOCK CD
BRT-1-02-E-ZZZ-DR-RAU-AR-2003	PROPOSED ELEVATIONS - BLOCK E
BRT-1-02-F-ZZZ-DR-RAU-AR-2004	PROPOSED ELEVATIONS - BLOCK F
BRT-1-02-G-ZZZ-DR-RAU-AR-2005	PROPOSED ELEVATIONS - BLOCK G
BRT-1-02-H-ZZZ-DR-RAU-AR-2006	PROPOSED ELEVATIONS - BLOCK H
BRT-1-02-I-ZZZ-DR-RAU-AR-2007	PROPOSED ELEVATIONS - BLOCK I
BRT-1-02-J-ZZZ-DR-RAU-AR-2008	PROPOSED ELEVATIONS - BLOCK J
GA SECTIONS	
BRT-1-02-ZZZ-ZZZ-DR-RAU-AR-3001	CONTIGUOUS SECTIONS AA, BB AND CC
BRT-1-02-ZZZ-ZZZ-DR-RAU-AR-3002	CONTIGUOUS SECTIONS DD, EE AND FF
BRT-1-02-ZZZ-ZZZ-DR-RAU-AR-3003	PROPOSED SECTIONS - BLOCKS AB, CD
BRT-1-02-ZZZ-ZZZ-DR-RAU-AR-3004	PROPOSED SECTIONS - BLOCKS E AND F
BRT-1-02-ZZZ-ZZZ-DR-RAU-AR-3005	PROPOSED SECTIONS - BLOCKS G AND H
BRT-1-02-ZZZ-ZZZ-DR-RAU-AR-3006	PROPOSED SECTIONS - BLOCKS I AND J
SCHEDULES	
BRT-1-XX-XXX-XXX-SH-RAU-AR-9000	DRAWING REGISTER
REPORTS	
	Urban Design Report
	Housing Quality Assessment

Conservation Architecture: Howley Hayes Cooney

- Architectural Heritage Impact Assessment

DRAWING NO.	DRAWING TITLE
EXISTING	
P-002	Existing/Demolition Site Plan
P-020	Existing/Demolition Ground Floor Plan
P-021	Existing/Demolition First Floor Plan
P-022	Existing/Demolition Second Floor Plan
P-023	Existing/Demolition Roof Plan
P-030	ExistingDemolition Section A-A
P-040	Existing/Demolition Elevations 1
P-041	ExistingDemolition Elevations 2
P-042	Existing/Demolition Elevations 3
P-043	Existing/Demolition Elevations 4
P-044	Existing/Demolition Elevations 5
P-045	Existing/Demolition Elevations 6
P-046	Existing/Demolition Elevations 7

Arborist: The Tree File

- Tree Survey and Arboricultural Report

Drawing Name	Drawing Subject
Barrington Tower Tree Constraints Plan	Tree Constraints Plan Pre-development tree/site scenario
Barrington Tower Tree Impacts Plan	Tree Impacts Plan Effect of proposed development on recorded trees
Barrington Tower Tree Protection Plan	Tree Protection Plan Protection of trees during development works

Engineering: Waterman Moylan Engineering Consultants

- Engineering Assessment Report
- Construction Management Plan
- DMURS Statement of Consistency
- Flood Risk Assessment
- Traffic and Transport Assessment
- Travel Plan
- Response to An Bord Pleanala Opinion relating to Item 1, 2 and 12
- 5752 Brennanstown Road-South Site Cabinteely, Dublin 18 Site Investigation Report
- 5831 Brennanstown Road Additional Investigation Cabinteely, Dublin 18 Site Investigation Report
- QUALITY AUDIT INCLUDING Road Safety Audit, Cycle Audit and Walking Audit
- STORMWATER AUDIT (STAGE 1)

Dwg No.	Drawing Title
BRR-WM-ZZ-00-DR-C-P010	Site Location Plan
BRR-WM-ZZ-00-DR-C-P011	Proposed Roads Levels
BRR-WM-ZZ-00-DR-C-P012	Swept Path Analysis - Fire Tender
BRR-WM-ZZ-00-DR-C-P013	Swept Path Analysis - Refuse Vehicle
BRR-WM-ZZ-00-DR-C-P014	Proposed Road Markings & Signal Controls
BRR-WM-ZZ-00-DR-C-P015	Proposed Swept Path Analysis - Heavy Goods Vehicle (Response to RSA)
BRR-WM-ZZ-00-DR-C-P017	Brennanstown Road Layout
BRR-WM-ZZ-XX-DR-C-P018	Road Construction Details Sheet 1 of 2
BRR-WM-ZZ-XX-DR-C-P019	Road Construction Details Sheet 2 of 2
BRR-WM-ZZ-00-DR-C-P200	Proposed Drainage Layout
BRR-WM-ZZ-B2-DR-C-P202	Proposed Basement -2 Drainage Layout
BRR-WM-ZZ-00-DR-C-P203	Proposed SUDS Drainage Layout
BRR-WM-ZZ-XX-DR-C-P204	SUDS Drainage Details
BRR-WM-ZZ-00-DR-C-P205	Overland Flood Route
BRR-WM-ZZ-00-DR-C-P206	Surface Water Catchment Areas
BRR-WM-ZZ-XX-DR-C-P210	Public Surface Water Drainage Details
BRR-WM-ZZ-XX-DR-C-P211	Private Surface Water Drainage Details
BRR-WM-ZZ-XX-DR-C-P212	Private Foul Water Drainage Details
BRR-WM-ZZ-XX-DR-C-P213	Proposed Petrol Interceptor, Hydrobrake & Silt Trap Details
BRR-WM-ZZ-XX-DR-C-P214	Attenuation Tank Details
BRR-WM-ZZ-XX-DR-C-P215	Typical Headwall Details
BRR-WM-ZZ-00-DR-C-P300	Proposed Watermain Layout

Landscape Architecture: Murray and Associates

Doc Ref. / Dwg No.	Sheet Title
DRAWINGS	
1815_PL_P_01_IFP	Landscape Masterplan
1815_PL_P_02_IFP	Central Public Open Space
1815_PL_P_03A_IFP	Communal Open Space - Block AB, Block CD, Block K.
1815_PL_P_03B_IFP	Communal Open Space - Blocks E-J
1815_PL_P_04_IFP	Entrance & Brennanstown Road Boundary
1815_PL_P_05_IFP	Public & Private Boundary Treatments Plan
1815_PL_P_06_IFP	Soft Landscape Plan
1815_PL_P_07_IFP	Communal & Public Open Space Area
1815_PL_P_08_IFP	Vegetation to be Retained/Removed
1815_PL_P_09_IFP	Landscape Plan with Services Overlaid
1815_PL_S_01_IFP	Landscape Sections
1815_PL_D_01_IFP	Site Furniture and Play Details
1815_PL_D_02_IFP	Bat House Detail
REPORTS	
1815_PL_REP_01	Landscape Design Statement
1815_PL_REP_02	Landscape Management Plan and Specifications

OCSC

Document No.	Document Title
C975-OCSC-XX-XX-RP-YS-0001	Energy & Sustainability Report
C975-OCSC-XX-XX-RP-E-0001	Site Lighting Report
Drawing No.	Drawing Title
C975-OCSC-XX-XX-SK-E-0001	Electrical Proposed Site Lighting Layout

Cortland Consult

- Operational Plan
- Justification Report

O'Dwyer & Jones Design Partnership

- Aeronautical Assessment Report

IES

- Barrington Tower Wind Study

Bat Eco Services

- Bat Assessment

Altemar

- Ecological Impact Assessment (EclA)
- Appropriate Assessment Screening & Natura Impact Statement

Enviroguide

- Hydrogeological Assessment

Model Works

- Verified Photomontages and CGIs

Avison Young

- Daylight, Sunlight & Overshadowing Report

AWN

- Resource & Waste Management Plan
- Operational Waste Management Plan
- Construction Environmental Management Plan

- Appendix B – Letter of Consent from Dun Laoghaire Rathdown



Comhairle Contae Dhún Laoghaire-Ráth an Dúin, Halla an Chontae, Dún Laoghaire, Co. Átha Cliath, Éire. Ag6 K6C9
Dún Laoghaire-Rathdown County Council, County Hall, Dún Laoghaire, Co. Dublin, Ireland. Ag6 K6C9
T: 01 205 4700 F: 01 280 6969 www.dlrco.ie

An Rannóg Bonneagair agus Athraithe Aeráide

Infrastructure and Climate Change Department

Property Management Section
Paul Kennedy
Director of Service

Level 3, County Hall, Dun Laoghaire, Co. Dublin
Tel: 01 2054700, Email: paulkennedy@dlrcoco.ie

Ms Brenda Butterly
22 Wicklow Street
Dublin 2
D02 VK22

1st April 2022

Subject to Contract – Contract Denied

**Re: Taken in charge lands at Barrington House, Brennanstown Road,
Dublin 18**

Inclusion of Council Lands

Dear Ms. Butterly,

I wish to advise that while the portion of Brennanstown Road in question is not in Dún Laoghaire–Rathdown County Council ownership, the area forms part of the public road network and the Council is responsible for maintaining it.

Dún Laoghaire–Rathdown County Council consents to the inclusion, of lands at Brennanstown Road, outlined in green on attached Drawing no. BRT-1-02-SW-XXX-DR-RAU-AR-1001, by your client Cairn Home Properties Ltd to upgrade the road in line with the Brennanstown Road Traffic Management Scheme Part 8 drawings from August 2016 by Dún Laoghaire–Rathdown County Council as part of a planning application at Barrington House, Brennanstown Road, Dublin 18.

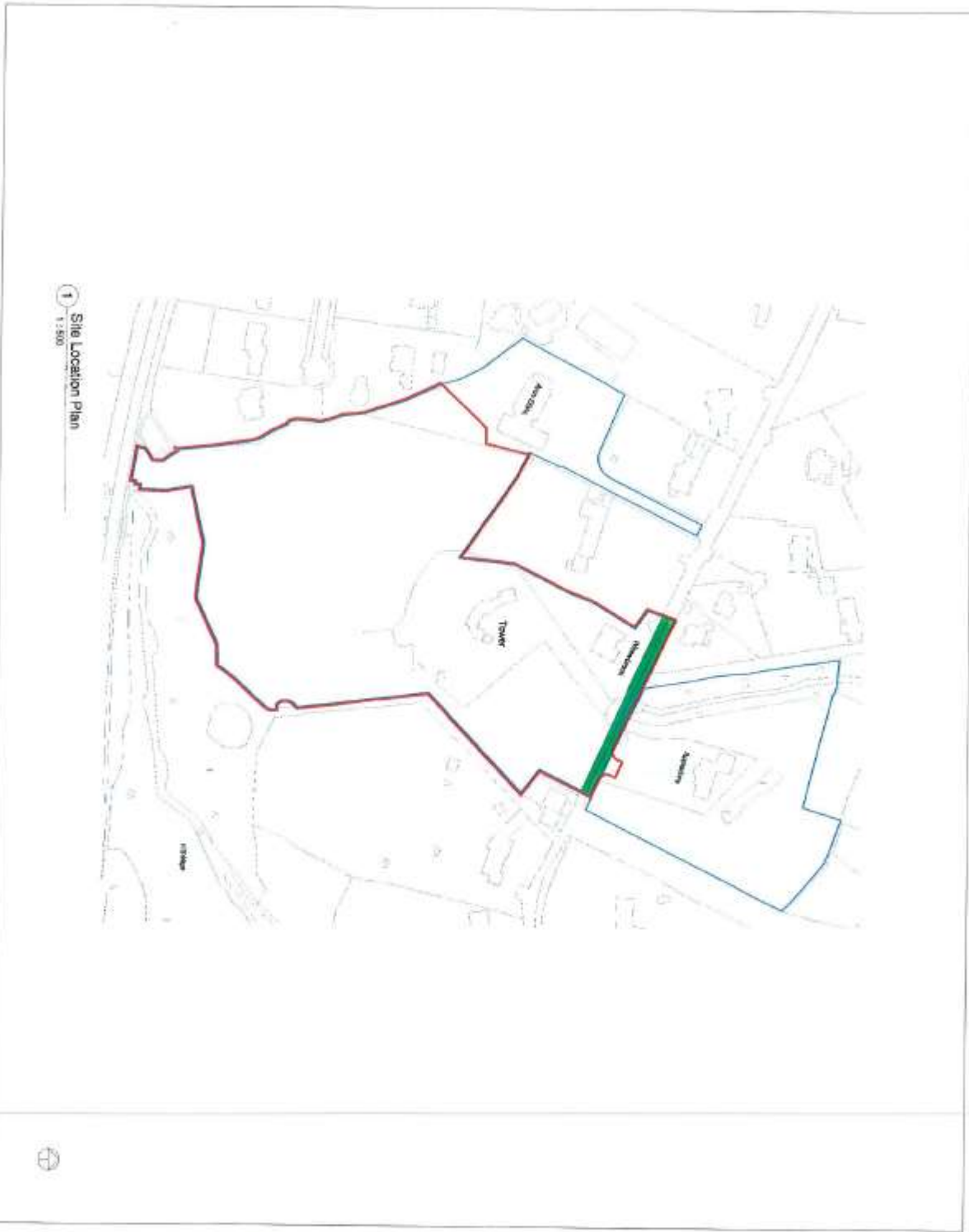
This consent is "Without Prejudice" and does not form a contract or discussions leading to a contract in respect of Council property. This letter should not be construed as binding the Council in any way whether to take any further action, partake in any future discussions or negotiations whether legally, contractual or otherwise, whether as landowner or otherwise.

This consent also applies to this one specific planning application only which should be made within twenty-eight days of the date of this letter.

Yours Sincerely,

Paul Kennedy
DIRECTOR





LEGEND

- Red outline: 100% of the site area
- Blue outline: 50% of the site area
- Green outline: 25% of the site area

NOTES

- The site is shown in red outline.
- The site is shown in blue outline.
- The site is shown in green outline.

GENERAL NOTES

- The site is shown in red outline.
- The site is shown in blue outline.
- The site is shown in green outline.

PROJECT INFORMATION

CLIENT: [Redacted]

PROJECT NAME: [Redacted]

PROJECT ADDRESS: [Redacted]

PROJECT REFERENCE: [Redacted]

PROJECT DATE: [Redacted]

PROJECT STATUS: [Redacted]

PROJECT CONTACT: [Redacted]

PROJECT PHONE: [Redacted]

PROJECT EMAIL: [Redacted]

PROJECT WEBSITE: [Redacted]

PROJECT SOCIAL MEDIA: [Redacted]

PROJECT ADDRESS: [Redacted]

PROJECT REFERENCE: [Redacted]

PROJECT DATE: [Redacted]

PROJECT STATUS: [Redacted]

PROJECT CONTACT: [Redacted]

PROJECT PHONE: [Redacted]

PROJECT EMAIL: [Redacted]

PROJECT WEBSITE: [Redacted]

PROJECT SOCIAL MEDIA: [Redacted]

Appendix C – Email Correspondence with Dun Laoghaire Rathdown

Caitlin Marley

From: Brenda Butterly
Sent: Wednesday 6 April 2022 14:15
To: Trevor Sadler; Caitlin Marley; Karen Fox
Subject: FW: Brennanstown Luas Station

Importance: High

From: Aidan McLernon <aidan.mclernon@cairnhomes.com>
Sent: Tuesday 29 March 2022 16:21
To: Walsh Liam <lwalsh@DLRCOCO.IE>
Cc: Cliona Eogan <cliona.eogan@cairnhomes.com>; Brenda Butterly <Brenda@mcgplanning.ie>
Subject: Brennanstown Luas Station
Importance: High

Hi Liam,

Further to our conversation, I understand that representatives of the Planning and Roads sections of Dun Laoghaire & Rathdown met with Transport Infrastructure Ireland yesterday (16th March 2022) to discuss the existing, completed, but as yet unopened, Brennanstown Luas Stop which directly abuts the southern boundary of the Cairn land at Barrington.

TII confirmed that the necessary infrastructure associated existing station is in place and that it can be opened without any further statutory permissions required. Notwithstanding this, TII requested additional information on how the public will access the station platform from the north and south in a safe manner.

I would appreciate if you could confirm by response that this broadly reflects the content of the meeting.

For clarity, as part of our planning application documentation, Cairn intend to demonstrate the accessibility of various Luas stops to their associated catchment areas and where applicable, how the public can access the Brennanstown Luas Stop via our development. The proposed Cairn development includes upgrades to parts of Brennanstown Road, consistent with the previous, abandoned Part 8 scheme together with a new junction to the site and vehicular drop off zone close to the public road. Further to this, our application will illustrate the provision of clear cycle and pedestrian route through the development to the Luas which will facilitate clear wayfinding for the general public seeking to access the Luas stop from the Brennanstown Road area. It is also envisaged that the public route through the development may ultimately be taken in charge.

I trust the above is clear but please let me know if you have any queries.

Kind regards,

Aidan McLernon
Head of Planning



CAIRN PLC

Appendix D – Consultees

In line with this Act we have submitted this application and the EIAR in the following format:

- 3 digital copies and 2 hard copies of the requested documents to An Bord Pleanála
- 1 digital copy and 6 hard copies have been submitted to Dun Laoghaire Rathdown County Council as the local Planning Authority for this area.

In addition to this, and as requested in the Pre-application Opinion, one digital copy has also been sent to each of the following prescribed bodies:

- The Minister for Culture, Heritage and the Gaeltacht
- An Taisce- The National Trust for Ireland.
- The Heritage Council.
- Irish Water
- National Transport Authority (NTA)
- Transport Infrastructure Ireland (TII)
- Dun Laoghaire Rathdown County Childcare Committee#
- Fáilte Ireland

Email from The Minister for Culture, Heritage and the Gaeltacht:

From: Manager DAU <Manager.DAU@chg.gov.ie>
Sent: Wednesday 19 August 2020 09:20
To: Saoirse Kavanagh <Saoirse@mcgplanning.ie>
Subject: RE: SHD Planning Applications

Hi Saoirse,

Please send a soft copy with a cover letter to the address below.

Mise le meas,

Connor Rooney
Executive Officer

—

An Roinn Cultúir, Oidhreacht agus Gaeltachta
Department of Culture, Heritage and the Gaeltacht

Aonad na nIarratas ar Fhorbairt
Development Applications Unit

Bóthar an Bhaile Nua, Loch Garman, Contae Loch Garman, Y35 AP90
Newtown Road, Wexford, County Wexford, Y35 AP90

—

T +353 (0)53 911 7464
manager.dau@chg.gov.ie
www.chg.gov.ie

—

An Taisce – The National Trust for Ireland

Email from Ian Lumley in An Taisce requesting an electronic copy:

From: Ian Lumley <heritage@antaisce.org>
Sent: Thursday 27 June 2019 18:46
To: Saoirse Kavanagh
Subject: An Taisce consultation on SHD Planning Applications to An Bord Pleanála

| Saoirse,

An Taisce would be pleased to receive all future SHD documents in soft copy on a CD with a hard copy cover letter.

Thanks

Ian Lumley

The Heritage Council

Email from the Heritage Council requesting soft copy of SHD applications:

Saoirse Kavanagh

From: Ger Croke <gcroke@heritagecouncil.ie>
Sent: Tuesday 24 September 2019 10:55
To: Saoirse Kavanagh
Subject: RE: SHD Planning Applications

Hi Saoirse

We would prefer to receive these applications by email if possible. A Cover letter with files attached would be the ideal scenario or else a link to where the files can be found.

Many Thanks

Martina
On behalf of Alison Harvey, Planning & Development Officer

Irish Water

Email from Irish Water's CDS Developer Liaison Team requesting a USB copy of SHD applications:

From: CDStraining <CDStraining@water.ie>
Sent: Tuesday 29 September 2020 10:00
To: CDStraining <CDStraining@water.ie>
Subject: SHD Planning documentation.

Hello

Due to the ongoing Covid-19 pandemic, Irish Water is seeking the assistance of the development community to help minimise our requirement to attend the office. In this regard, it is preferable for Irish Water to receive the SHD Planning Documentation in USB format rather than paper format with a cover letter. The USB should be sent to the same address as the paper format: CDS Planning, Irish Water, Colvill House, 24-26 Talbot Street, Dublin 2

We also urge the development community to continue to submit their designs to CDSdesignqa@water.ie ahead of any full SHD application to An Bord Pleanála for assessment. Upon review of an acceptable design Irish Water will provide the developer with a Statement of Design Acceptance.

Many thanks

CDS Developer Liaison Team

National Transport Authority

Email from David Clements in the National Transport Authority requesting a CD copy of SHD applications.

From: David Clements <David.Clements@nationaltransport.ie>
Sent: Tuesday 6 August 2019 16:06
To: info <Info@mcgplanning.ie>
Subject: NTA Referrals

Dear Sir / Madam,

In relation to any referrals that are made to the NTA, in particular those pertaining to Strategic Housing Developments, can you please inform the relevant staff members that we only require a CD and cover letter, rather than a hard copy of the application.

Thanks,

David Clements
Land Use & Transport Planner
Transport Planning and Capital Investment



Dún Scoine
Iveagh Court
Harcourt Lane
Dublin 2

Tel: + 353 (0)1 879 8305
Email: david.clements@nationaltransport.ie
Web: www.nationaltransport.ie

Transport Infrastructure Ireland

Email from Olivia Morgan in Transport Infrastructure Ireland requesting an electronic copy:

From: Landuse Planning <LandUsePlanning@tii.ie>
Sent: Wednesday 24 June 2020 11:30
To: Nicky Casey
Subject: RE: Statutory Consultee for SHD

Hi Nicky

Thank you for your email regarding the above.

The TII offices are still closed and we would be most obliged if the application could be submitted electronically to landuseplanning@tii.ie, along with notification of the application website.

Thank you for your co-operation in this matter.

Kind regards
Olivia Morgan
Land Use Planning

Dun Laoghaire Rathdown Childcare Committee

Email from Emma Jane in DLRCC requesting an electronic copy:

Saoirse Kavanagh

From: Emma Jane <EmmaJane@dlrchildcare.ie>
Sent: Friday 12 March 2021 09:50
To: Saoirse Kavanagh
Cc: Harriet Massey
Subject: RE: SHD Applications to An Bord Pleanála

Hi Saoirse

Thank you for your email. Please can you send in a soft copy? We will be able to respond accordingly.

Many thanks

Emma Jane

Emma Jane Nulty | Development Officer
Dún Laoghaire Rathdown County Childcare Committee
Unit 16 Deansgrange Business Park
Blackrock
Co. Dublin
A94 HH31

Faílte Ireland

Email from Yvonne requesting an electronic copy

Nicky Casey

From: planning applications <planning.applications@faillteireland.ie>
Sent: Wednesday 1 April 2020 12:27
To: Nicky Casey
Subject: Re: SHD Planning Applications to An Bord Pleanála

Hello Nicky,

Thank you for your e-mail.

Fáilte Ireland would prefer if possible to receive this information by e-mail. We have a dedicated e-mail address for planning information, applications, documentation etc. So, for all future planning related information please send by e-mail to planning.applications@faillteireland.ie. This will ensure the information/notifications will get to the Environmental & Planning Unit Team and reviewed in a timely manner.

However if this is not possible, please send by soft copy on a CD with a hardcopy cover letter to; Mr Shane Dineen, Manager of Environment & Planning, Fáilte Ireland, 88/95 Amiens Street, Dublin 1, D01 WR86.

Regards & thanks,

Yvonne

Yvonne Jackson

Product Development-Environment & Planning Support | Fáilte Ireland
Áras Fáilte, 88/95 Amiens Street, Dublin 1. D01WR86
T +353 (0)1 884 7224 | www.faiilteireland.ie



 Please consider the environment before printing this email

Appendix E – EIAR Portal Confirmation

Shauna Hewitt

From: Housing Eiaportal <EIAportal@housing.gov.ie>
Sent: Wednesday 6 April 2022 16:19
To: Shauna Hewitt
Subject: EIA Portal Confirmation Notice Portal ID 2022067

Dear Shauna,

An EIA Portal notification was received on 06/04/2022 in respect of this proposed application. The information provided has been uploaded to the EIA Portal on 06/04/2022 under EIA Portal ID number 2022067 and is available to view at

<http://housinggovie.maps.arcgis.com/apps/webappviewer/index.html?id=d7d5a3d48f104ecbb206e7e5f84b71f1>.

Portal ID: 2022067

Competent Authority: An Bord Pleanála

Applicant Name: Cairn Homes Properties Limited

Location: Barrington Tower', Brennanstown Road, Dublin 18.

Description: Strategic Housing Development for 534 no. residential units, residential amenities, a creche, a retail unit and all associated site development works.

Linear Development: No

Date Uploaded to Portal: 06/04/2022

Regards,

Hugh Wogan,

EIA Portal team

—

An Roinn Tithíochta, Rialtais Áitiúil agus Oidhreacht
Department of Housing, Local Government and Heritage

Teach an Chustaim, Baile Átha Cliath 1, D01 W6X0
Custom House, Dublin 1, D01 W6X0

—
T +353 (0) 1 888 2000

www.gov.ie/housing



**An Roinn Tithíochta,
Rialtais Áitiúil agus Oidhreacht**
Department of Housing,
Local Government and Heritage

Appendix F – Part V Pack

An Bord Pleanála
64 Marlborough Street
Rotunda
D01 V902

8th March 2022

Re: **Part V: Proposed Strategic Housing Development for development at Barrington, Brennanstown Road, Cabinteely, Dublin 18**

A Chara,

Please find enclosed supporting documentation in response to Question 19 of the Strategic Housing Development Application form which requires the submission of;

- i. details of such part or parts of the land for the proposed development or is or are specified by the Part Agreement, or houses situated on such aforementioned land or elsewhere in the planning authority's functional area proposed to be transferred to the planning authority, or details of houses situated on such aforementioned land or elsewhere in the planning authority's functional area proposed to be leased to the planning authority, or details of any combination of the foregoing, and
- ii. details of the calculations and methodology for calculating values of land, site costs, normal construction and development costs and profit on those costs and other related costs such as an appropriate share of any common development works as required to comply with the provisions in Part V of the Act, and
- iii. a layout plan showing the location of proposed Part V units in the development.

Part V requirements under the Planning and Development Act 2000, as amended, apply to Build to Rent developments. This submission is supported by a Part V proposal setting out the number and location of proposed Part V social housing units within the scheme. A cost breakdown for the proposed Part V units is included overleaf.

The DHPCLG Housing Circular 36 2015, Section 96 (3) sets out six types of Part V agreement that may be made, including:

- i) Transfer of lands (Section 96(3), paragraph (a));
- ii) Build and transfer of up to 10% of the proposed housing units (Section 96(3), paragraph (b)(i));
- iii) Transfer of housing units on any other land in the functional area of the planning authority (Section 96(3), paragraph (b)(iv));
- iv) Lease of housing units either on the subject site of the application or in any other location within the functional area of the planning authority (Section 96(3), paragraph (b)(iva));
- v) Combination of a transfer of land and one or more of the other options; and

- vi) Combination of options not involving a transfer of the ownership of land (Section 96(3), paragraph (b)(viii)).

It is proposed to provide 53 no. units within the overall development to comply with the requirements of Part V. Cairn Homes Properties Ltd. have engaged with Dun Laoghaire-Rathdown County Council regarding their Part V obligations. Cairn Homes will continue to engage with Dun Laoghaire-Rathdown County Council regarding the provision of Part V as part of this overall development.

Yours sincerely

A handwritten signature in blue ink that reads "Cliona Eogan." The signature is written in a cursive, flowing style.

Cliona Eogan
Development Manger

Cairn Barrington Leasing Proposal

Assumptions

Standard Lease as % of market rent	85%
Standard Lease term	25 Years

Development Value	€ 24,000,000
Existing Use Value	€ 3,500,000
Net Monetary Value	€ 20,500,000

Gain due to Council*	€ 2,050,000
Rent free amount	€ 2,050,000

Rent free period (spread across 53 units)	19.15 months
Round up	19 months

Rent free amount **€2,050,000**

Project	LA	No of units	Part V	No of units	Indicative Market Rent	Gross annual market rent	P&A Rate	Annual P&A
Barrington	DLRCC	53	53	53	€ 2,375	€ 1,510,500	85%	€ 1,283,925
Two bed apt						€ 1,510,500		€ 1,283,925
Totals						€ 1,510,500		€ 1,283,925
Average per apt per annum								€ 24,225

Notes

*10% of Net Monetary Value

Client:
Cairn Home Properties LTD
Project:
Barrington Tower Brennanstown Road - RESIDENTIAL DEVELOPMENT

Reddy Architecture + Urbanism
Dartry Mi-Ils, Dartry Road,
Dublin 6, D06 Y0E3
T: +353 (0) 1 4987000
W: www.reddyarchitecture.com
E: info@reddyarchitecture



Schedule Title:
Schedule of Part V Units

Revision: P3-0
Date: 02.03.22
Created By: DM

Status: P3
Purpose: PLANNING

Sheet Size:
A3

Part V Units				
Block	Level		Dual Aspect	Oversize Units (10% above min)
		2 Bed		
AB	Ground Floor	2	2	1
AB	First Floor	2	2	1
CD	First Floor	2	1	0
CD	Second Floor	2	1	0
E	Lower Ground Floor	2	1	0
E	Ground Floor	2	0	0
E	First Floor	3	0	0
F	Lower Ground Floor	2	1	0
F	Ground Floor	4	2	0
F	First Floor	3	0	0
G	Lower Ground Floor	1	0	1
G	Ground Floor	3	1	2
G	First Floor	3	1	2
H	Ground Floor	2	1	1
H	First Floor	2	1	1
H	Second Floor	2	1	1
I	First Floor	2	1	0
I	Second Floor	2	1	0
I	Third Floor	1	1	0
J	Lower Ground Floor	2	2	1
J	Ground Floor	2	0	2
J	First Floor	3	1	2
J	Second Floor	2	0	2
J	Third Floor	2	0	2
TOTAL		53	21	19
		10%	40%	36%

Site Plan for a proposed residential development. The plan shows various building blocks, parking areas, and landscaping features. The site is bounded by a red line and includes a grid of street names: N. 7250 W., N. 7200 W., N. 7150 W., N. 7100 W., N. 7050 W., N. 7000 W., and N. 6950 W. East-West streets include Brownstone Lane, Linn Ave., and Luas Lane. The plan is titled 'Proposed Site Plan' and is at a scale of 1:500. A north arrow is located in the bottom right corner.

LEGEND:

- 1. Proposed Vehicular Entrance
- 2. Proposed Drop Off Zone
- 3. Existing Used Trees
- 4. Existing ESB Station
- 5. Proposed Bicycle Storage for Lusk Commuters
- 6. Proposed new or existing at Ground Level of Block CD
- 7. Proposed Plaza (UI) at Ground Level of Block CD
- 8. Proposed Bicycle Entrance to Basement Car Parking
- 9. Proposed Bicycle Entrance to Basement Car Parking
- 10. Proposed Bldg. at Ground Level of Block CD (LWH)
- 11. Util House

Side Boundary	Existing Trees	Proposed Entrance to Residential Blocks	Proposed Porch	Proposed Ground Level Planting Gardens	D.U.F. Concept Zone	PV Plant Area	Maintenance Access to Building with ACV over stairs	Bird House	Bicycle Shelter	Plant Units Visual Impact
[Red Line]	[Green Circle]	[Red Triangle]	[Green Square]	[Green Square]	[White Square]	[Green Grid]	[Red Square]	[Brown Circle]	[Blue Rectangle]	[Green Dashed Line]

Note: Proprietary symbols and graphics for interior details. Please refer to landscape design drawings for details.

redco architects
ARCHITECTS

Project Name: Lusk
Site No.: 200721
Scale: 1:500
Date: 10/20/2023
Drawn By: [Name]
Checked By: [Name]

Client: Camden Properties LTD

Project: Residential Development
Building Name: Brownstone Road, Unit 10

Site No: 200721

Project No:	200721	Scale:	1:500
Date:	10/20/2023	Drawn By:	[Name]
Checked By:	[Name]	Project:	Residential
Client:	Camden Properties LTD	Project Name:	Lusk

Site Plan File

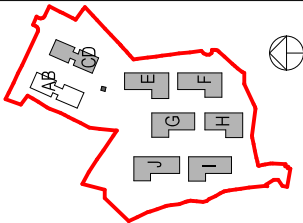


1 Proposed Site Plan
1:500



Notes:
 1. DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS IN ALL VIEWS MUST BE TAKEN FROM THE DIMENSION LINES. IN THE EVENT OF A DISCREPANCY BETWEEN THE DIMENSIONS SHOWN ON THIS DRAWING AND THE DIMENSIONS ON THE ARCHITECT'S INSTRUMENTED DRAWING, THE ARCHITECT'S INSTRUMENTED DRAWING SHALL PREVAIL.
 2. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH THE ARCHITECT'S SPECIFICATION TO THE DRAWINGS.
 3. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S PERMISSION.
 Drawing Name:

KEY PLAN:



LEGEND:

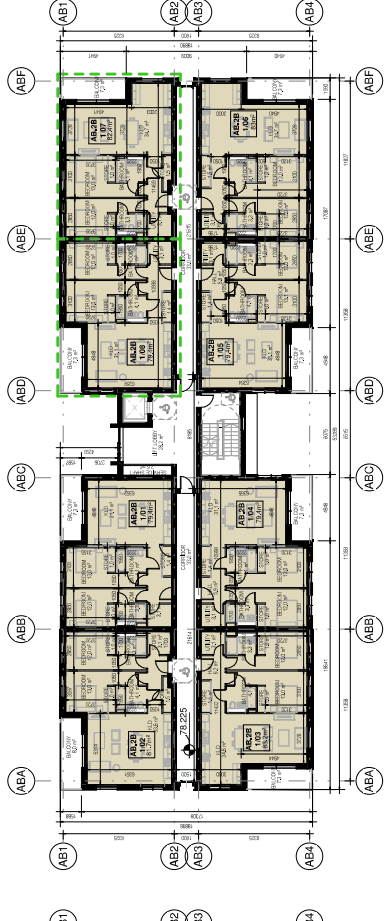
Studio Apartment	40m²
One Bed Apartment	50m²
Two Bed Apartment	79m²
Three Bed Apartment	100m²
Three Bed Apartment	115m²
Internal Amenity Space	
Creche	
Retail	
Ancillary Space	
Part V Unit	
PV Panels Area	

reddy architecture + urbanism
 Reddy Architects + Urbanism
 120th Street
 Dublin 8
 T: +353 (0)1 490 2898
 F: +353 (0)1 490 2899
 E: info@reddydesign.com
 W: www.reddydesign.com

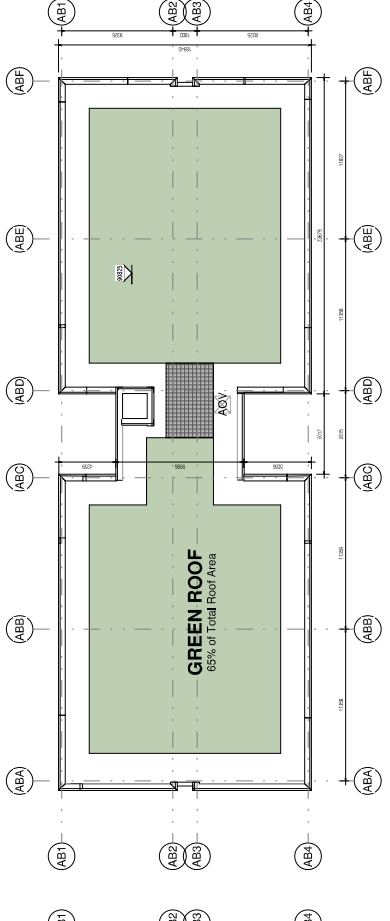
Rev.	Date	DRN	Description

Client Name: **Carmine Properties LTD**
 Project Name: **Proposed Residential Development**
 Barrington Tower, Barrinstown Road, Dublin 18

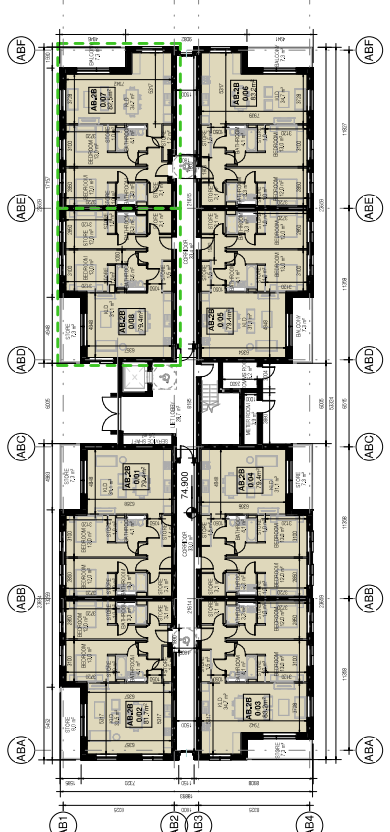
Drawn By: **DM**
 Checked By: **DM**
 Title: **Proposed Floor Plans - Block AB**
 Drawing Number: **BRT-402-AB-ZZ-FR-JAR-1004**



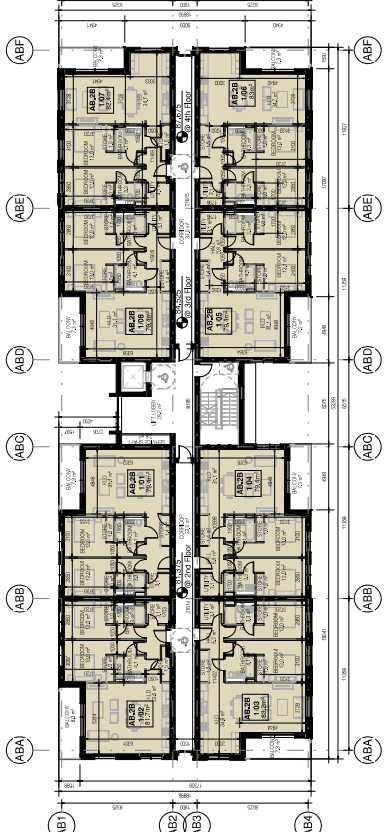
Block AB - Proposed First Floor Plan
 1 : 200



Block AB - Proposed Roof Plan
 1 : 200



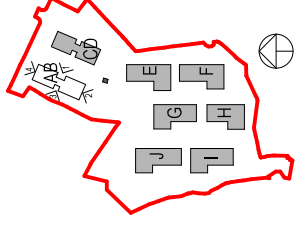
Block AB - Proposed Ground Floor Plan
 1 : 200



Block AB - Proposed Second to Fourth Floor Plan
 1 : 200

Notes:
 1. DON'T SCALE FROM THIS DRAWING. USE DIMENSIONS IN ALL CASES.
 2. CONSULT WITH THE ARCHITECTS IMMEDIATELY. THE DRAWING TO BE EXAMINED IN CONNECTION WITH THE ARCHITECTS SPECIFICATION. THE DRAWING TO BE EXAMINED IN CONNECTION WITH THE ARCHITECTS SPECIFICATION. THE DRAWING TO BE EXAMINED IN CONNECTION WITH THE ARCHITECTS SPECIFICATION.
 Drawing Mark:

KEY PLAN:



- EXTERNAL FINISHES**
1. SELECTED BRICK TYPE 1 BUFF BRICK
 2. SELECTED BRICK TYPE 2 DARK GREY BRICK
 3. BRICK SOLDIER COURSE DETAIL
 4. GREY RENDER FINISH
 5. CANTILEVERED BALCONY
 6. LIGHT GREY WINDOW FRAMES
 7. AOV

Part V Units

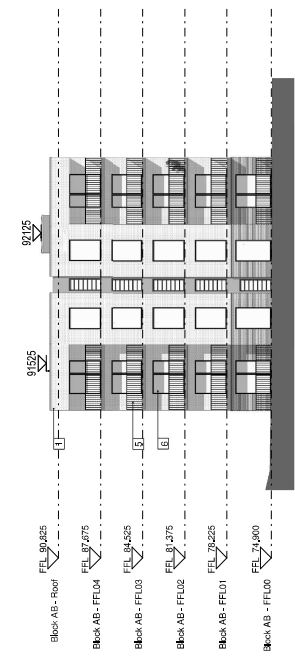
ready architecture + urbanism
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Client Name: **Gann Home Properties LTD**

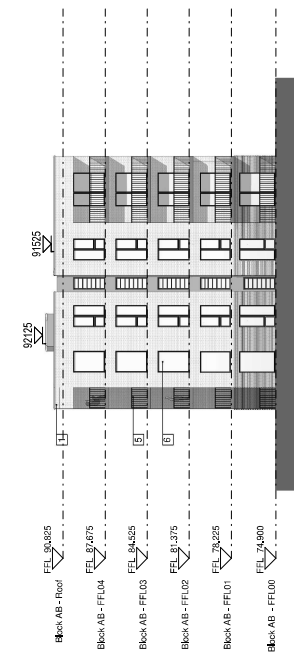
Project Detail:
Proposed Residential Development
 Barrington Tower, Barrinstown Road, Dublin 18

Township:
 Proposed Elevations - Block AB

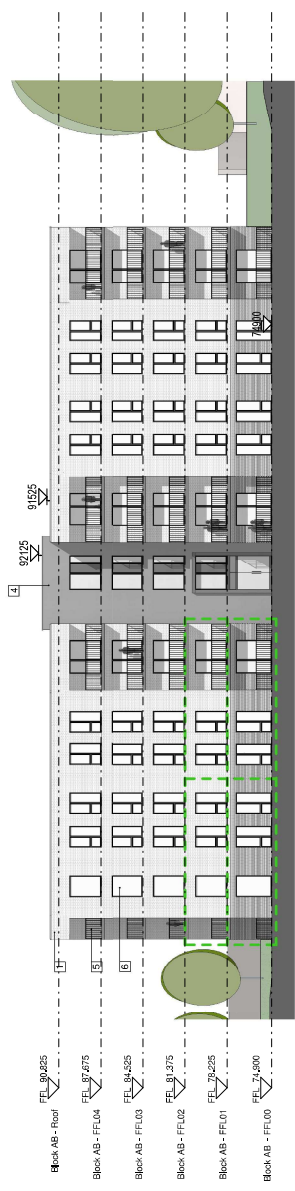
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P20-016D	09/03/22	As indicated
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P3		PB
Project Name		Checked By:
Barrington Tower		GM
Drawing Number		Revision
BRT-402-AB-ZZZ-DR-FAU-AR-2001		



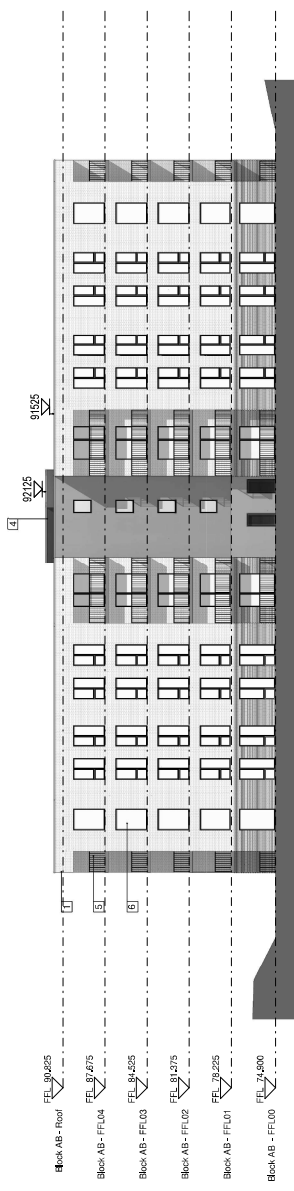
2 Proposed South Elevation - Block AB
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4 Proposed North Elevation - Block AB
 1 : 200



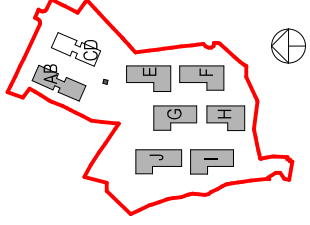
1 Proposed East Elevation - Block AB
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











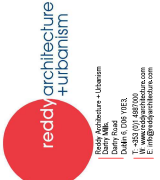
3 Proposed West Elevation - Block AB
 1 : 200

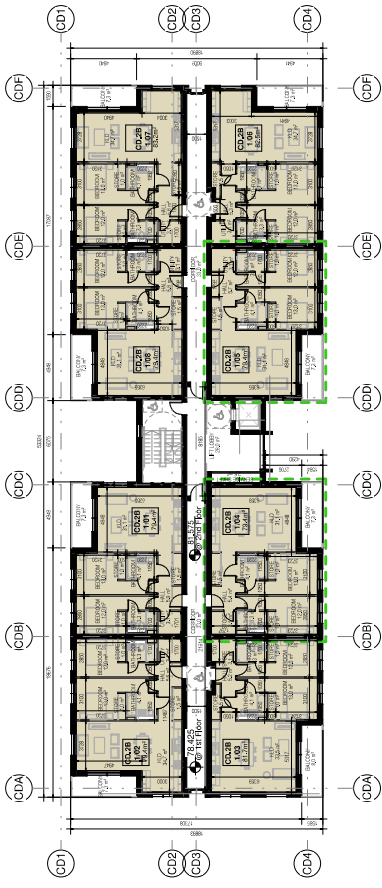
Notes:
 1. DO NOT SCALE FROM THIS DRAWING. LINE DIMENSIONS IN ALL COORDINATES ARE TO BE TAKEN FROM THE ARCHITECT'S DRAWINGS IN CONJUNCTION WITH THE ARCHITECT'S SPECIFICATION. IN THE DRAWINGS, DIMENSIONS ARE TO FACE UNLESS OTHERWISE INDICATED.
 Drawing Mark: 

KEY PLAN:

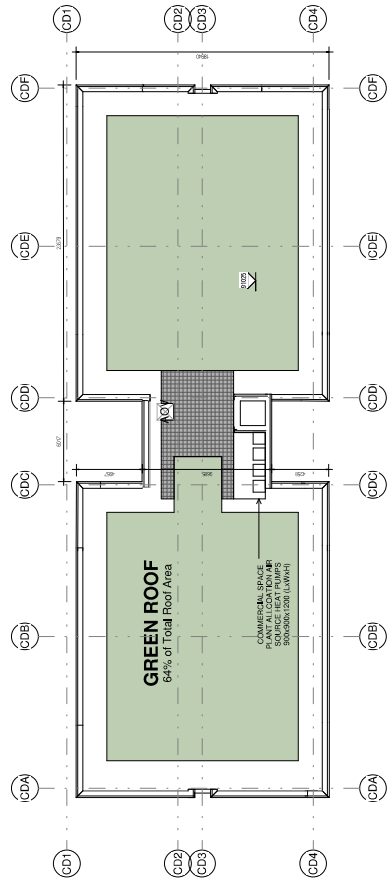


- LEGEND:
-  Studio Apartment 40m²
 -  One Bed Apartment 50m²
 -  Two Bed Apartment 79m²
 -  Three Bed Apartment 100m²
 -  Three Bed Apartment 115m²
 -  Internal Amenity Space
 -  Creche
 -  Retail
 -  Ancillary Space
 -  Part V Unit
 -  PV Panels Area

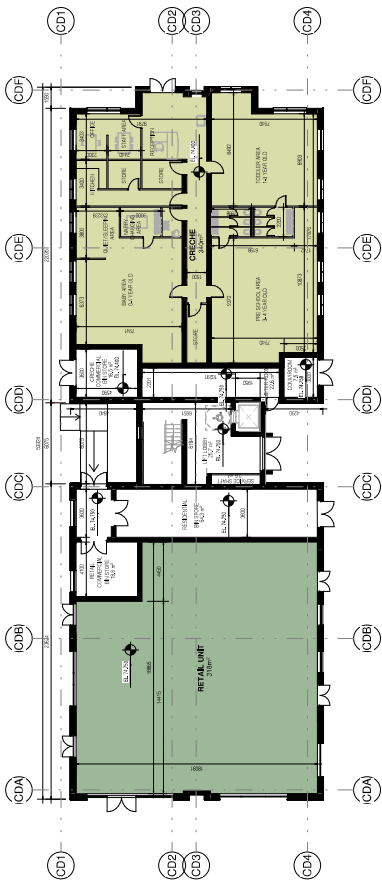
Rev	Date	DRN	Description
			
Reddy Architects + Urbanism Dublin City Office 100, Dame Street Dublin 2, Ireland T: +353 1 454 4444 F: +353 1 454 4445 W: www.reddyarchitecture.com E: info@reddyarchitecture.com			
Client Name: Carlin Home Properties LTD			
Project Name: Proposed Residential Development Barrington Tower, Barrinstown Road, Dublin 18			
Drawing Title: Proposed Floor Plans - Block CD			
Job No.	Date	Scale	Drawn By
P20-018D	02/03/22	As indicated	DM
Station			Checked By
P3			DM
Project Name			Drawn By
			DM
Drawing Number			Revision
			BRT-402-CD-ZZ-DR-RAU-AR-005



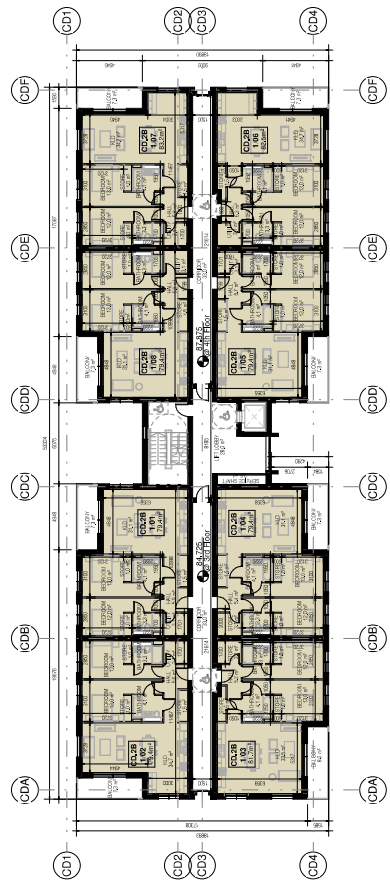
2 Block CD - Proposed First to Second Floor Plan
1 : 200



4 Block CD - Proposed Roof Plan
1 : 200



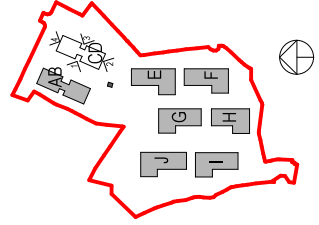
1 Block CD - Proposed Ground Floor Plan
1 : 200



3 Block CD - Proposed Third to Fourth Floor Plan
1 : 200

Notes:
 1. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS IN ALL CASES.
 2. CONSULT THE ARCHITECT'S SPECIFICATION AND THE DRAWINGS TO THE ARCHITECT'S SPECIFICATION FOR THE FINISHES TO BE USED.
 3. THE ARCHITECT'S SPECIFICATION AND THE DRAWINGS TO THE ARCHITECT'S SPECIFICATION SHALL TAKE PRECEDENCE OVER THIS DRAWING.
 4. CONSULT THE ARCHITECT'S SPECIFICATION AND THE DRAWINGS TO THE ARCHITECT'S SPECIFICATION FOR THE FINISHES TO BE USED.
 5. CONSULT THE ARCHITECT'S SPECIFICATION AND THE DRAWINGS TO THE ARCHITECT'S SPECIFICATION FOR THE FINISHES TO BE USED.
 6. CONSULT THE ARCHITECT'S SPECIFICATION AND THE DRAWINGS TO THE ARCHITECT'S SPECIFICATION FOR THE FINISHES TO BE USED.
 7. CONSULT THE ARCHITECT'S SPECIFICATION AND THE DRAWINGS TO THE ARCHITECT'S SPECIFICATION FOR THE FINISHES TO BE USED.
 Drawing Mark:

KEY PLAN:



- EXTERNAL FINISHES**
1. SELECTED BRICK TYPE 1: BUFF BRICK
 2. SELECTED BRICK TYPE 2: DARK GREY BRICK
 3. BRICK SOLDIER COURSE DETAIL
 4. GREY RENDER FINISH
 5. CANTILEVERED BALCONY
 6. LIGHT GREY WINDOW FRAMES
 7. AOV

Part V Units

ready architecture + urbanism

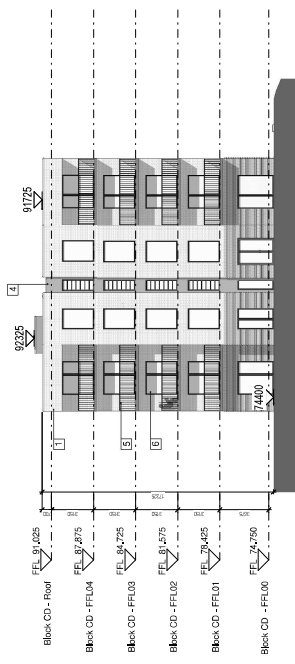
Ready Architecture + Urbanism
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Client Name: Gairn Home Properties LTD

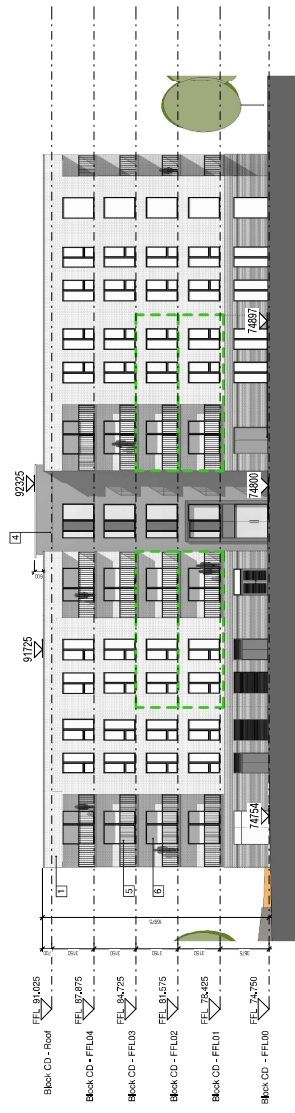
Project Name: Proposed Residential Development
 Barrington Tower, Barrington Road, Dublin 18

Township: Proposed Elevations - Block CD

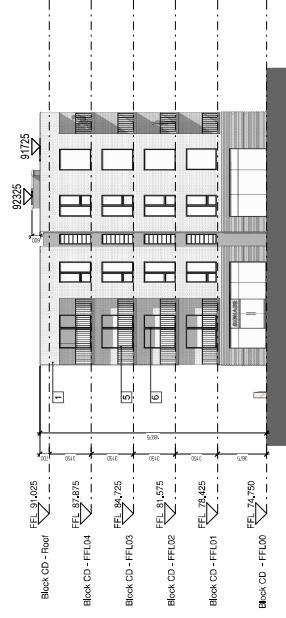
Arch No:	2200222	Scale:	As indicated
Date:	22/02/22	Drawn By:	PB
Client:	Gairn Home Properties LTD	Checked By:	GM
Project Name:	Proposed Residential Development	Revision:	



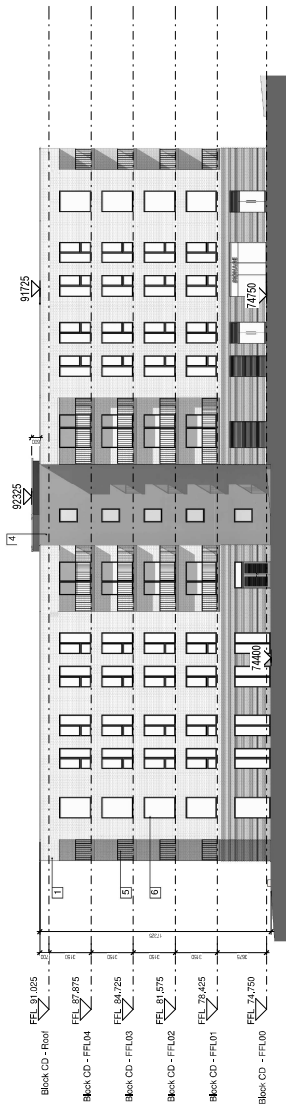
3 Proposed South Elevation - Block CD
 1 : 200



1 Proposed West Elevation - Block CD
 1 : 200



4 Proposed North Elevation - Block CD
 1 : 200

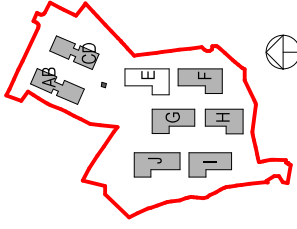


5 Proposed East Elevation - Block CD
 1 : 200

Note: DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS SHALL BE TAKEN FROM THE DIMENSION LINES. ALL DIMENSIONS SHALL BE IN METERS. THE ARCHITECTS TAKE NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THIS DRAWING. THE ARCHITECTS TAKE NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THIS DRAWING.

Drawing Name:

KEY PLAN:



- LEGEND:
- Studio Apartment 40m²
 - One Bed Apartment 50m²
 - Two Bed Apartment 79m²
 - Three Bed Apartment 100m²
 - Three Bed Apartment 115m²
 - Internal Amenity Space
 - Cycle
 - Retail
 - Ancillary Space
 - Part V Unit
 - PV Panels Area

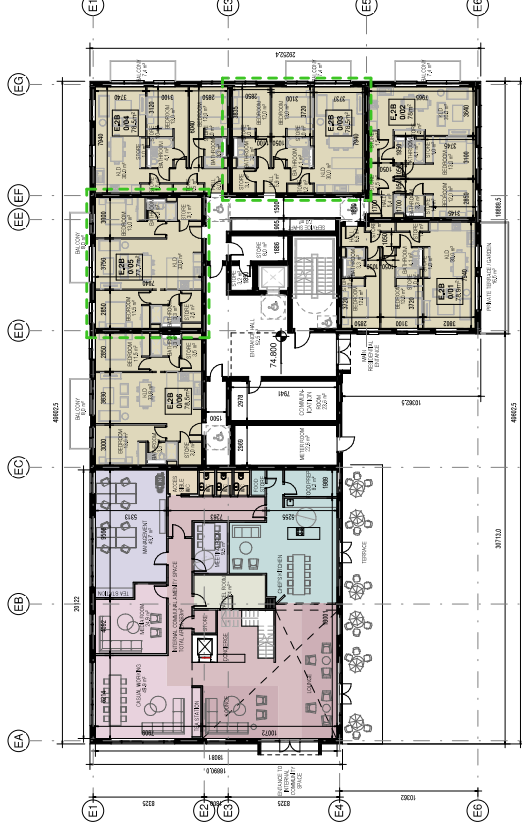
Rev	Date	DRN	Description

Client: Gann Home Properties LTD

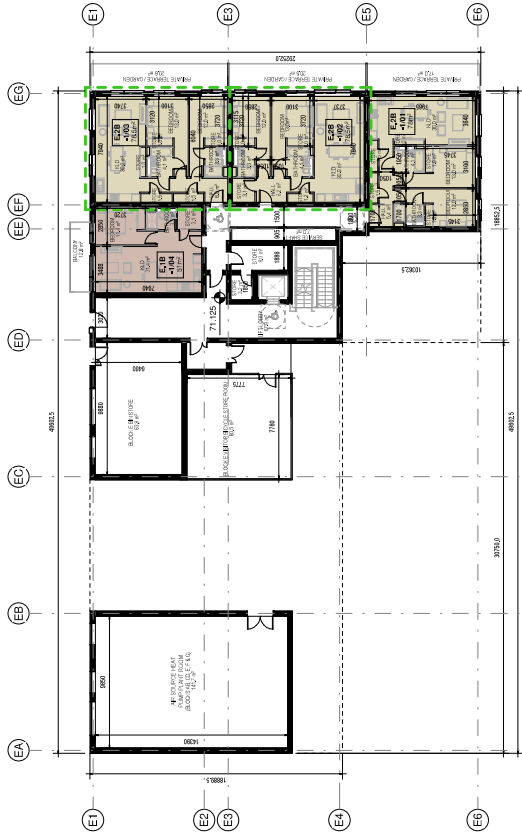
Project Name: Proposed Residential Development, Barrington Tower, Barrington Road, Dublin 18

Project Title: Proposed Floor Plans - Block E - Lower Ground to Fourth Floor Plan

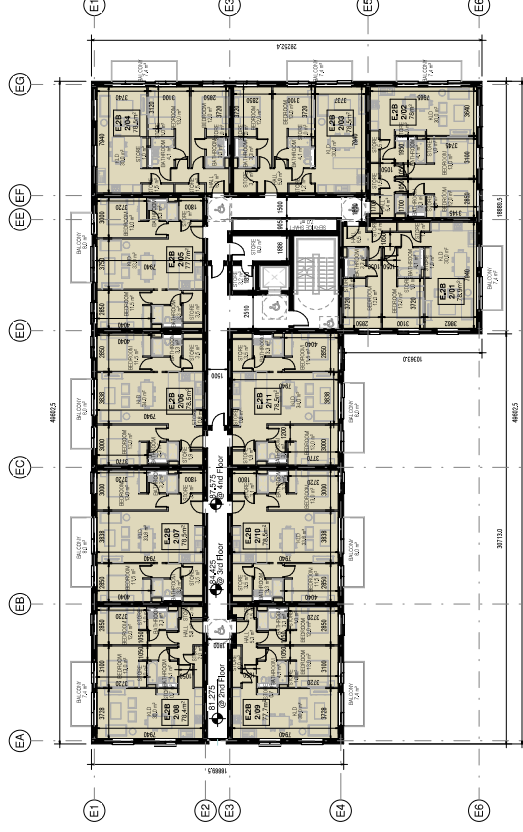
Job No.	02/03/2022
Date	02/03/2022
Scale	As indicated
Drawn By	DM
Checked By	DM
Approved By	DM
Project No.	02/03/2022
Drawing No.	02/03/2022
Revision	



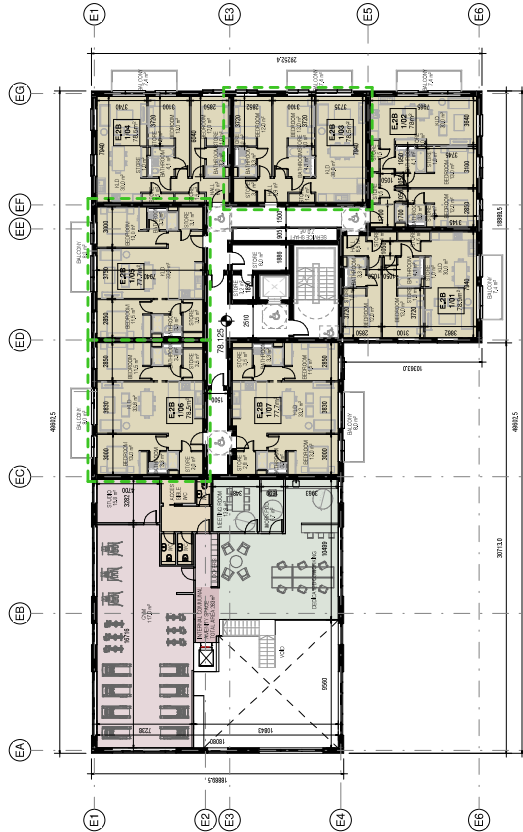
1 Block E - Proposed Lower Ground Floor Plan
1 : 200



2 Block E - Proposed First Floor Plan
1 : 200



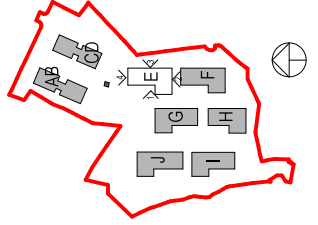
3 Block E - Proposed Second to Fourth Floor Plan
1 : 200



4 Block E - Proposed Ground Floor Plan
1 : 200

Notes:
 1. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS IN ALL CASES.
 2. CONSULT THE ARCHITECT'S SPECIFICATIONS TO THE DRAWINGS FOR MATERIALS AND FINISHES.
 3. THE ARCHITECT'S SPECIFICATIONS TO THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY CONFLICTING INFORMATION.
 4. CONSULT THE ARCHITECT'S SPECIFICATIONS TO THE DRAWINGS FOR MATERIALS AND FINISHES.
 5. CONSULT THE ARCHITECT'S SPECIFICATIONS TO THE DRAWINGS FOR MATERIALS AND FINISHES.
 6. CONSULT THE ARCHITECT'S SPECIFICATIONS TO THE DRAWINGS FOR MATERIALS AND FINISHES.
 7. CONSULT THE ARCHITECT'S SPECIFICATIONS TO THE DRAWINGS FOR MATERIALS AND FINISHES.
 Drawing Name: BRT-402-E-ZZZD-R-AR-2003

KEY PLAN:



EXTERNAL FINISHES

1. SELECTED BRICK TYPE 1 BUUFF BRICK
2. SELECTED BRICK TYPE 2 DARK GREY BRICK
3. BRICK SOLDIER COURSE DETAIL
4. GREY RENDER FINISH
5. CANTILEVERED BALCONY
6. LIGHT GREY WINDOW FRAMES
7. AOV

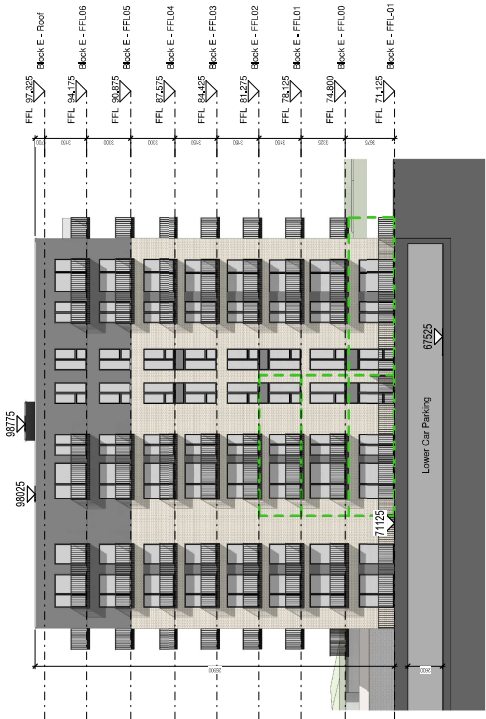
Part V Units

reddy architecture + urbanism
 1000 Highway 10, Suite 100
 Dunfermline, Fife KY11 1AA
 T: 0131 450 0000
 E: info@reddyarchitecture.com
 W: www.reddyarchitecture.com

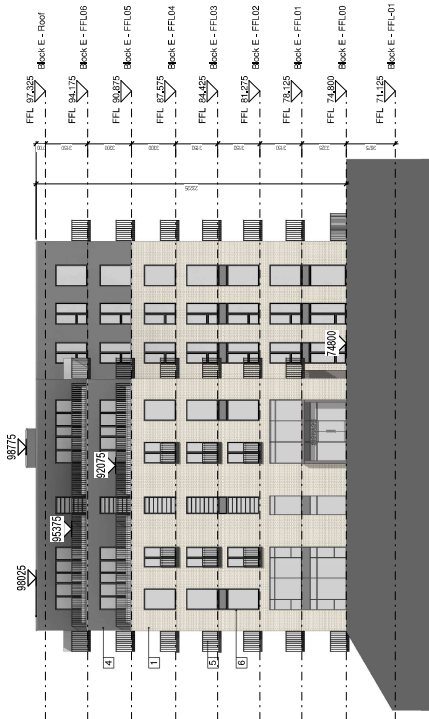
No.	Date	Description
1	22/02/22	As indicated
2		
3		
4		
5		
6		
7		

Client Name:	Gann Yare Properties LTD
Project Name:	Proposed Residential Development
Project Address:	Barrington Tower, Barrinstown Road, Dunfermline, Fife KY11 1AA
Township:	Proposed Elevations - Block E

Job No:	220222	Scale:	As indicated
Client:	Gann Yare	Drawn By:	PA
Project Name:	Proposed Residential Development	Checked By:	GM
Project Address:	Barrington Tower, Barrinstown Road, Dunfermline, Fife KY11 1AA	Drawn Date:	22/02/22
Project No:	BRT-402-E-ZZZD-R-AR-2003	Revision:	



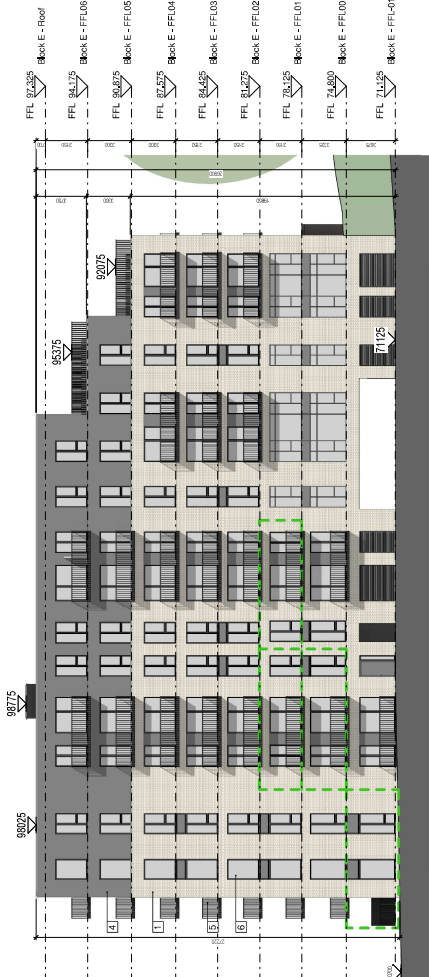
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4 1 : 200



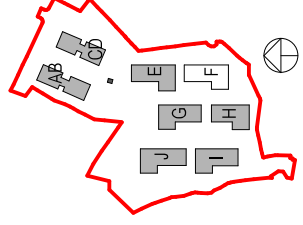
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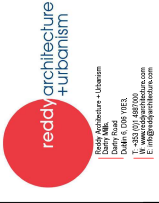
3 1 : 200

Notes:
 1. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS IN ALL CONNECTIONS.
 2. THE ARCHITECTS TAKE NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS OF THE DRAWINGS.
 3. THE ARCHITECTS TAKE NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS OF THE DRAWINGS.
 4. THE ARCHITECTS TAKE NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS OF THE DRAWINGS.
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 9. THE ARCHITECTS TAKE NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS OF THE DRAWINGS.
 10. THE ARCHITECTS TAKE NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS OF THE DRAWINGS.
 Drawing Mark:

KEY PLAN:



- LEGEND:
- Studio Apartment 40m²
 - One Bed Apartment 50m²
 - Two Bed Apartment 79m²
 - Three Bed Apartment 100m²
 - Three Bed Apartment 115m²
 - Internal Amenity Space
 - Creche
 - Retail
 - Ancillary Space
 - Part V Unit
 - PV Panels Area



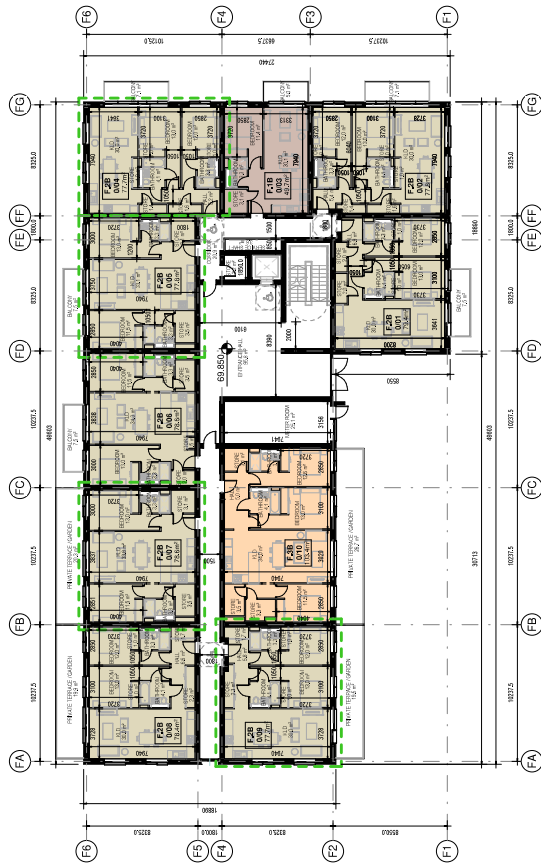
Rev	Date	DRN	Description

Client Name: **Carroll Home Properties LTD**

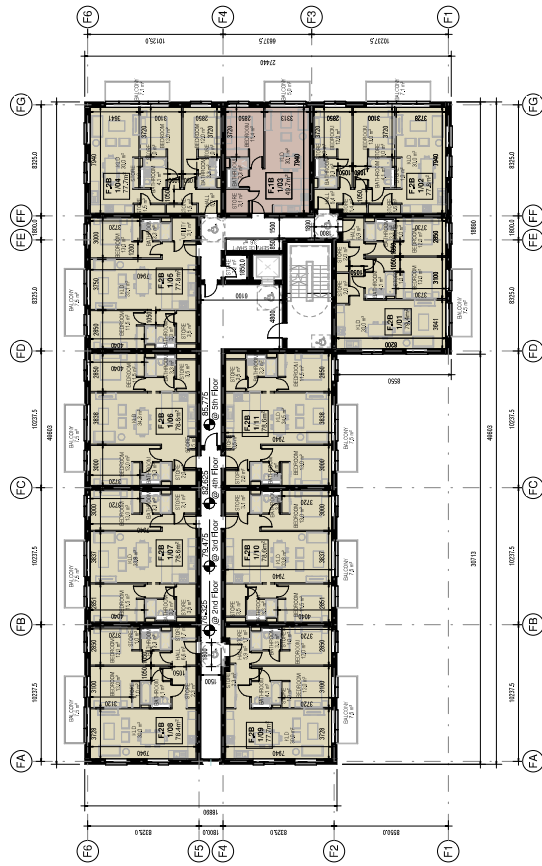
Project Name: **Proposed Residential Development**
 Barrington Tower, Barrington Road, Dublin 18

Township: **Proposed Floor Plans - Block F - Lower Ground to Fifth Floor Plan**

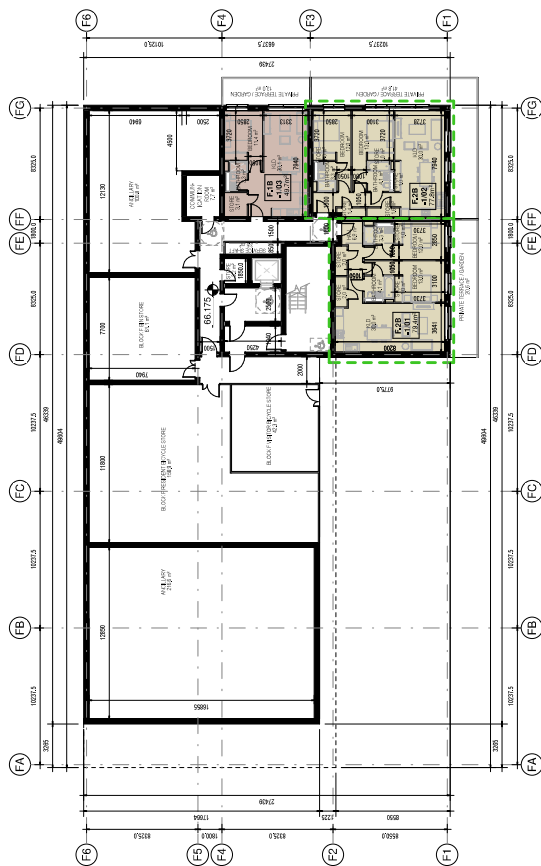
Job No.	Date	Scale
P20-018D	02/03/2022	As indicated
Drawn By:		
Checked By:		
Project Manager:		
Client Name:		
Project Name:		
Drawing Number:		
Revision:		



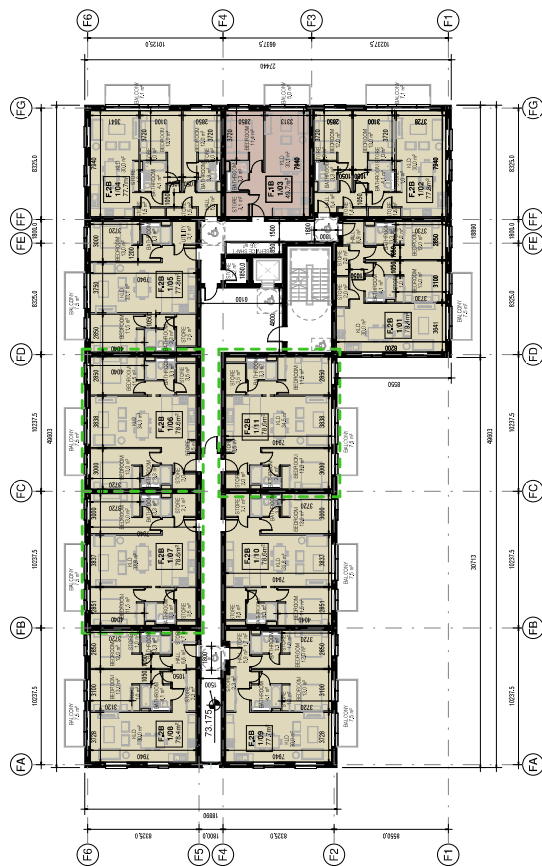
2 Block F - Proposed Ground Floor Plan
 1 : 200



4 Block F - Proposed Second to Fifth Floor Plan
 1 : 200



1 Block F - Proposed Lower Ground Floor Plan
 1 : 200

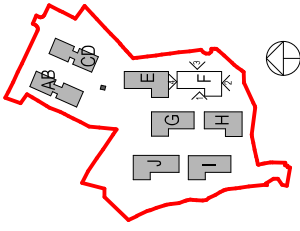


3 Block F - Proposed First Floor Plan
 1 : 200

Note: DO NOT SCALE FROM THIS DRAWING. LINE DIMENSIONS IN ALL CASES TAKE PRECEDENCE OVER DIMENSIONS TO THE CENTERLINE OF THE ARCHITECTURAL ELEMENT. THIS DRAWING TO BE EXAMINED IN CONNECTION WITH THE ARCHITECT'S SPECIFICATION TO THE DRAWINGS OF THE PROPOSED DEVELOPMENT AND WITH THE PROPOSED DEVELOPMENT APPROVALS WITH REFERENCE TO THE DRAWING SHEET.

Drawing Name:

KEY PLAN:



EXTERNAL FINISHES

1. SELECTED BRICK TYPE 1 BUFF BRICK
2. SELECTED BRICK TYPE 2 DARK GREY BRICK
3. BRICK SOLDIER COURSE DETAIL
4. GREY RENDER FINISH
5. CANTILEVERED BALCONY
6. LIGHT GREY WINDOW FRAMES
7. AOV

Part V Units

Rev	Date	Description

Client Name:
Garn Home Properties LTD

Project Name:
Proposed Residential Development
Barrington Tower, Barrinstown Road, Dublin 18

Tower Title:
Proposed Elevations - Block F

Arch No:
P20-018D

Date:
09/03/22

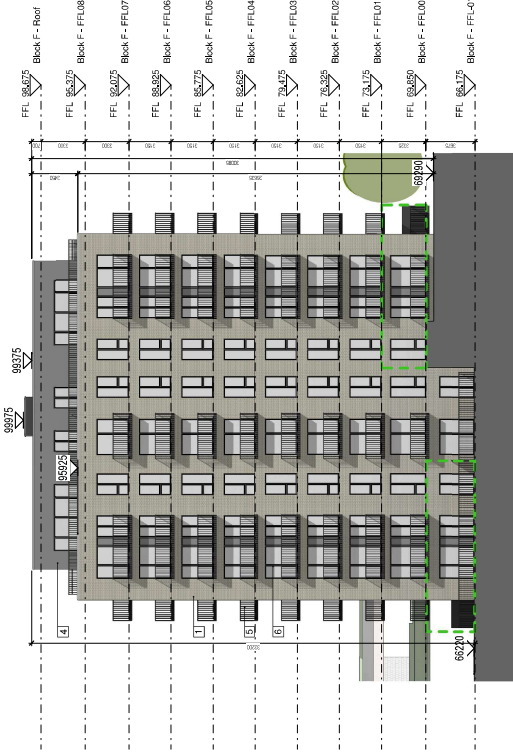
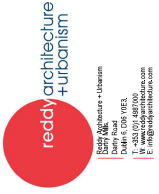
Scale:
As indicated

Drawn By:
PB

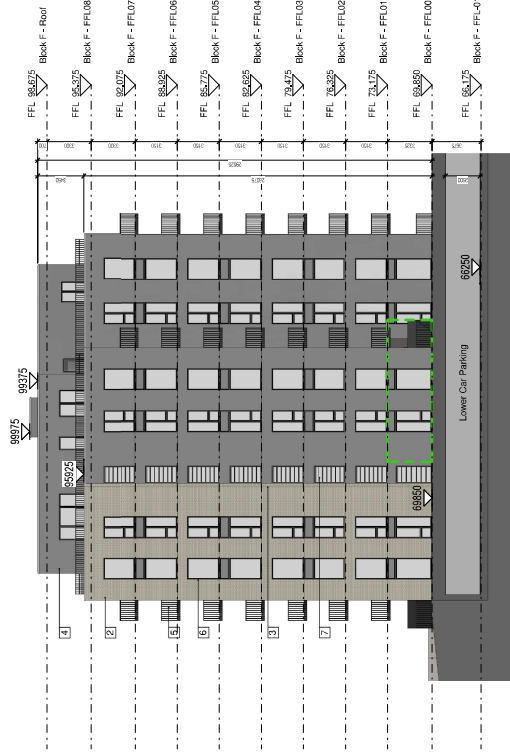
Checked By:
GJM

Project No:
BRT-406F-ZZZ-DR-A1A-R-2004

Revision:



Proposed South Elevation - Block F
1 : 200



Proposed North Elevation - Block F
1 : 200



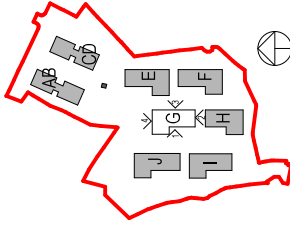
Proposed West Elevation - Block F
1 : 200



Proposed East Elevation - Block F
1 : 200

Notes:
 1. DON'T SCALE FROM THIS DRAWING. USE DIMENSIONS IN ALL CASES.
 2. CHECK ALL DIMENSIONS AND FINISHES TO BE USED TO CONFORM WITH THE ARCHITECT'S SPECIFICATION AND THE DRAWINGS.
 3. THE ARCHITECT'S SPECIFICATION, THE DRAWINGS TO BE USED TO CONFORM WITH THE ARCHITECT'S SPECIFICATION AND THE DRAWINGS.
 4. THE ARCHITECT'S SPECIFICATION, THE DRAWINGS TO BE USED TO CONFORM WITH THE ARCHITECT'S SPECIFICATION AND THE DRAWINGS.
 Drawing Name: BRT-4-02-G-ZZ-D-R-R-AL-R-2005

KEY PLAN:



EXTERNAL FINISHES

1. SELECTED BRICK TYPE 1 BUFF BRICK
2. SELECTED BRICK TYPE 2 DARK GREY BRICK
3. BRICK SOLDIER COURSE DETAIL
4. GREY RENDER FINISH
5. CANTILEVERED BALCONY
6. LIGHT GREY WINDOW FRAMES
7. AOV

Part V Units

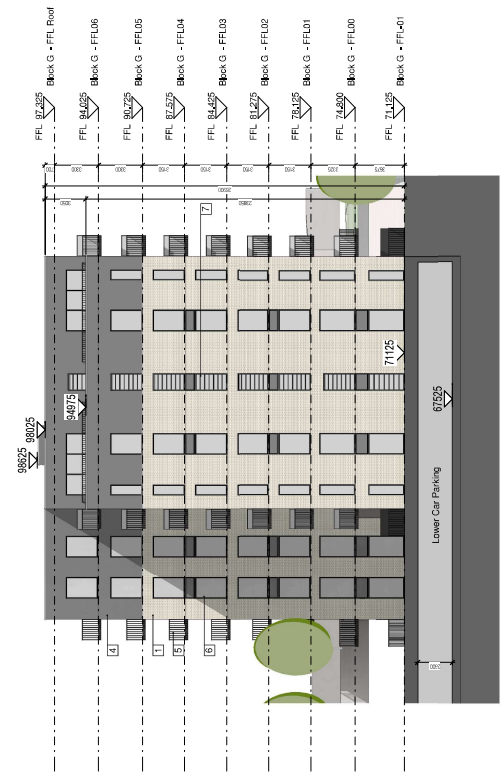
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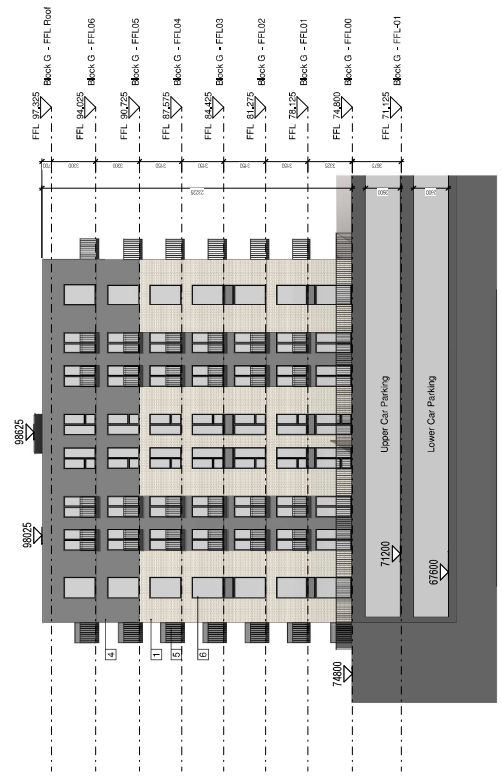
Reddy Architecture + Urbanism
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Client Name: Garm Home Properties LTD
 Project Name: Proposed Residential Development
 Barrington Tower, Barrington Road, Dublin 18

Job No.	Date	Scale	Drawn By
P20-018D	09/03/22	As indicated	PB
Station			
Project			
Client			
Drawn By			
Checked By			
Project No.			
Revision			



2 Proposed South Elevation - Block G
 1 : 200



4 Proposed North Elevation - Block G
 1 : 200



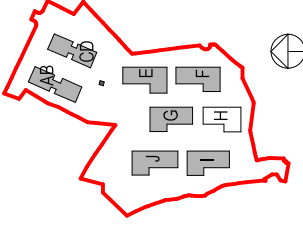
1 Proposed East Elevation - Block G
 1 : 200



3 Proposed West Elevation - Block G
 1 : 200

Notes:
 1. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS IN ALL CASES.
 2. CONSULT THE ARCHITECT'S SPECIFICATION TO THE DRAWINGS FOR THE ARCHITECT'S INTENT. THE DRAWING TO BE EXAMINED WITH THE ARCHITECT'S SPECIFICATION TO THE DRAWINGS FOR THE ARCHITECT'S INTENT.
 3. DRAWING NUMBER: BRT-4-02-H-ZZZQ-R-ALR-012

KEY PLAN:



- LEGEND:
- Studio Apartment 40m²
 - One Bed Apartment 50m²
 - Two Bed Apartment 79m²
 - Three Bed Apartment 100m²
 - Three Bed Apartment 115m²
 - Internal Amenity Space
 - Creche
 - Retail
 - Ancillary Space
 - Part V Unit
 - PV Panels Area



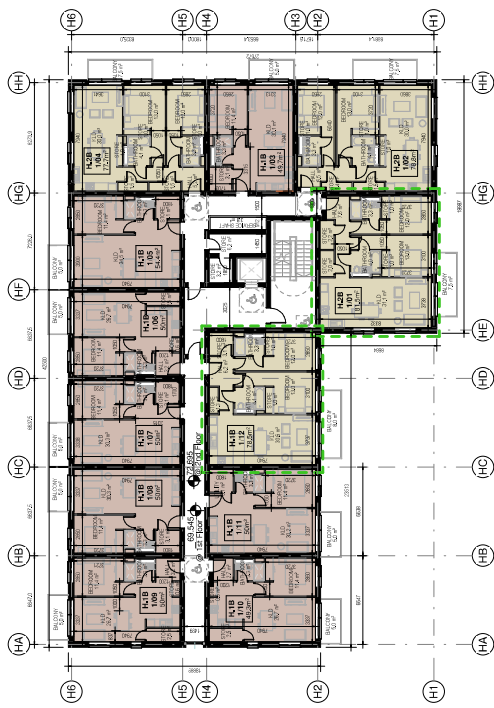
Rev	Date	DRN	Description

Client Name: **Carth Home Properties LTD**

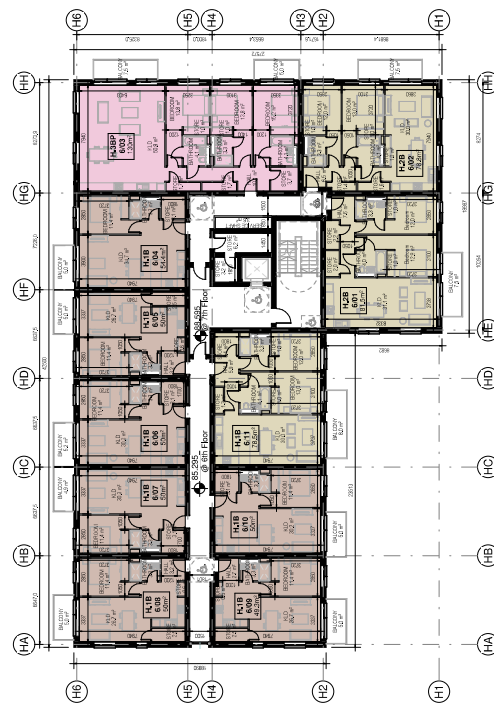
Project Name: **Proposed Residential Development**
 Barrington Tower, Barrinstown Road, Dublin 18

Drawing Title: **Proposed Floor Plans - Block H - Ground to Seventh Floor Plan**

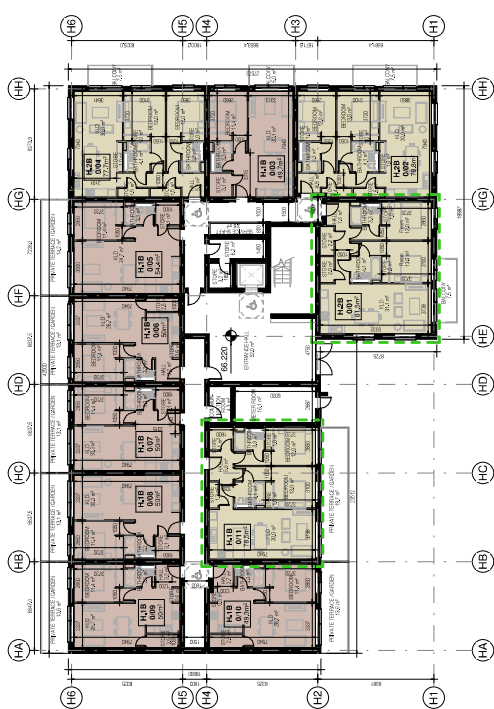
Job No.	Date	Scale
P20-018D	02/03/22	As indicated
Station		Drawn By:
P3		DM
Project Name		Checked By:
Barrington Tower		GM
Drawing Number		Revision
BRT-4-02-H-ZZZQ-R-ALR-012		



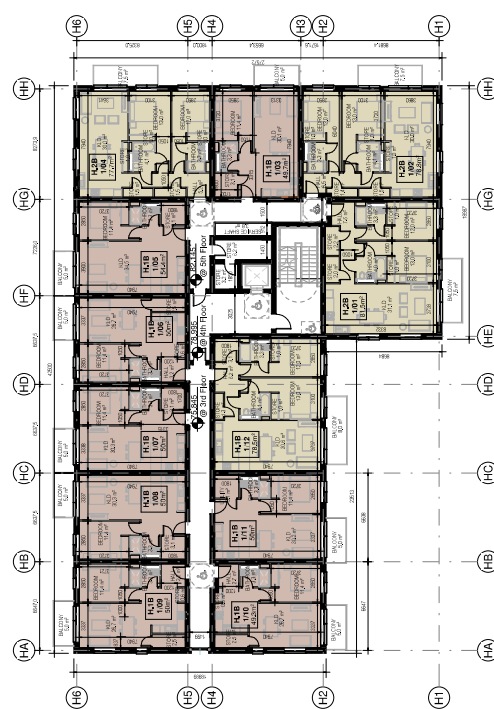
2 Block H - Proposed First to Second Floor Plan
 1 : 200



4 Block H - Proposed Sixth to Seventh Floor Plan
 1 : 200



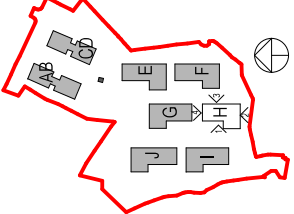
1 Block H - Proposed Ground Floor Plan
 1 : 200



3 Block H - Proposed Third to Fifth Floor Plan
 1 : 200

Note:
 1. DON'T SCALE FROM THIS DRAWING. USE DIMENSIONS IN ALL CASES.
 2. CHECK THE DIMENSIONS OF ALL ELEMENTS TO BE CONSTRUCTED WITH THE ARCHITECT'S DRAWINGS. THE DRAWING IS TO BE USED IN CONJUNCTION WITH THE ARCHITECT'S SPECIFICATION. THE DRAWING IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.
 Drawing Name: **BRT-406-H-ZZZO-R-ALAR-008**

KEY PLAN:



EXTERNAL FINISHES

1. SELECTED BRICK TYPE 1 BUFF BRICK
2. SELECTED BRICK TYPE 2 DARK GREY BRICK
3. BRICK SOLDIER COURSE DETAIL
4. GREY RENDER FINISH
5. CANTILEVERED BALCONY
6. LIGHT GREY WINDOW FRAMES
7. AOV

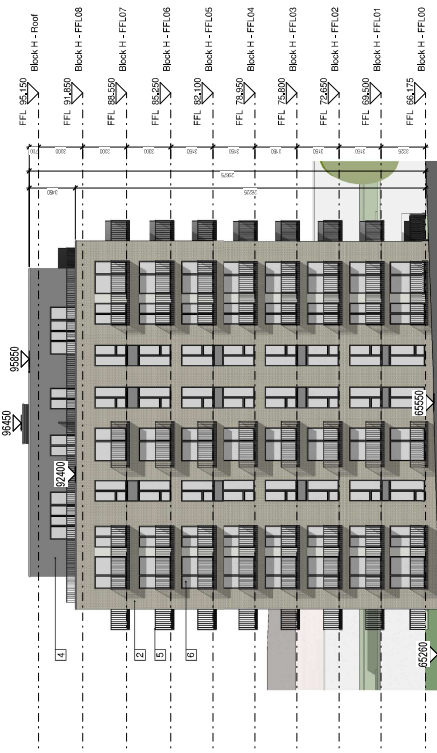
Part V Units

Rev	Date	Description

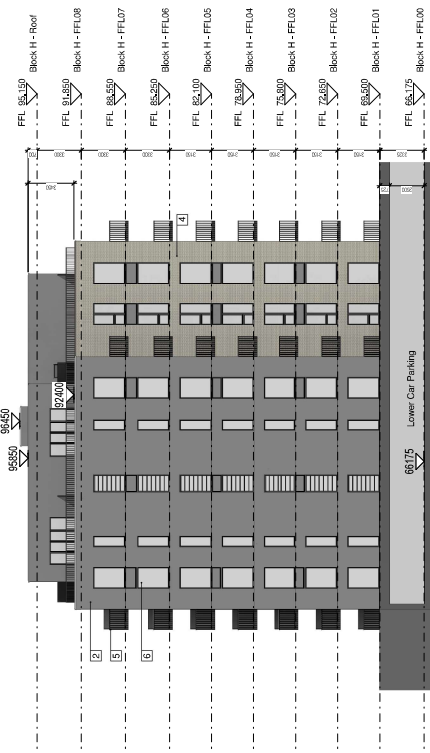
	reddy architecture +urbanism
	222y, 222y, 222y + 222y 222y, 222y, 222y + 222y 222y, 222y, 222y + 222y

Client Name:	Gairn Home Properties LTD
Project Name:	Proposed Residential Development Barrington Tower, Barrington Road, Dublin 18
Drawing Title:	Proposed Elevations - Block H

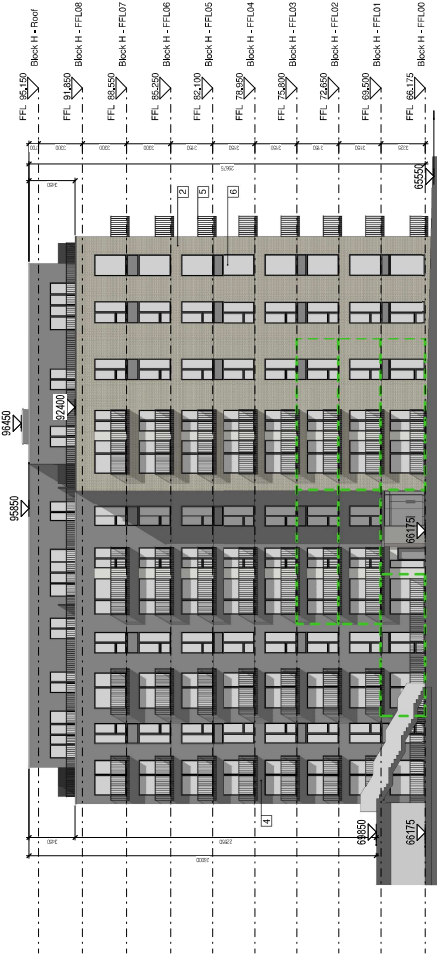
Job No:	P20-016D	Date:	08/03/22	Scale:	As indicated
Status:	P3	Drawn By:		Checked By:	
Project:		Reviewed By:		Approved By:	
Drawing Number:		Revision:			



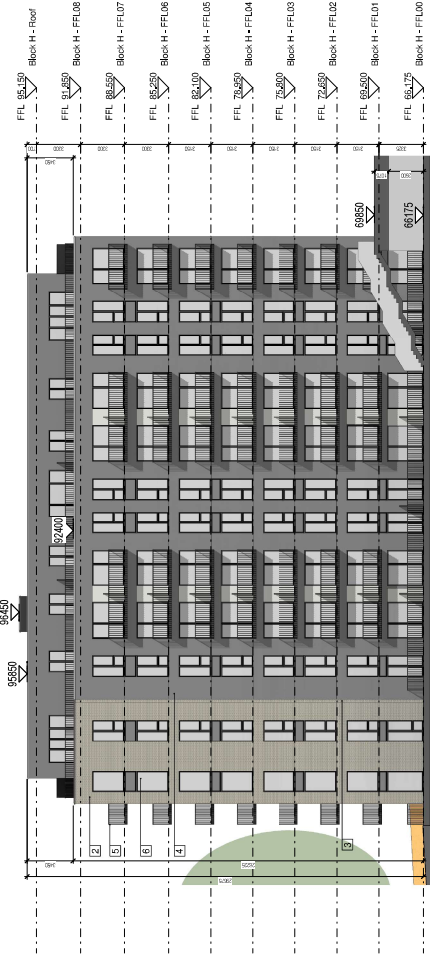
② Proposed South Elevation - Block H
1:200



④ Proposed North Elevation - Block H
1:200



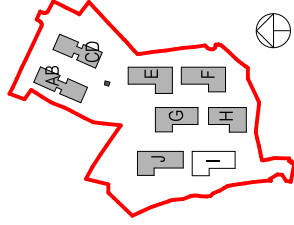
① Proposed West Elevation - Block H
1:200



③ Proposed East Elevation - Block H
1:200

Notes:
 1. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS IN ALL CASES.
 2. CONSULT THE ARCHITECT'S SPECIFICATION TO THE DRAWINGS FOR THE ARCHITECT'S INTENTIONS. THE DRAWING IS TO BE USED IN CONJUNCTION WITH THE ARCHITECT'S SPECIFICATION TO THE DRAWINGS.
 3. THE ARCHITECT'S INTENTIONS SHALL TAKE PRECEDENCE OVER THE DRAWING.
 4. THE ARCHITECT'S INTENTIONS SHALL TAKE PRECEDENCE OVER THE DRAWING.
 5. THE ARCHITECT'S INTENTIONS SHALL TAKE PRECEDENCE OVER THE DRAWING.
 Drawing Mark:

KEY PLAN:

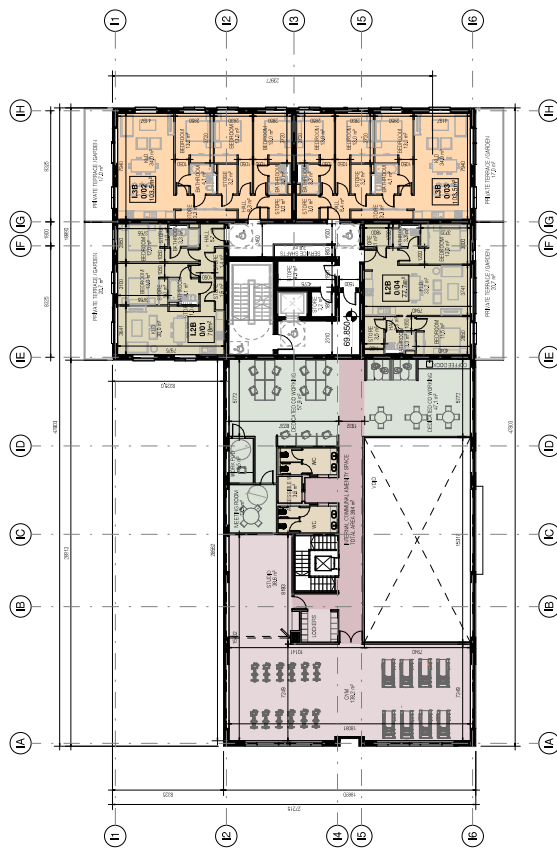


- LEGEND:
- Studio Apartment 40m²
 - One Bed Apartment 50m²
 - Two Bed Apartment 79m²
 - Three Bed Apartment 100m²
 - Three Bed Apartment 115m²
 - Internal Amenity Space
 - Creche
 - Retail
 - Ancillary Space
 - Part V Unit
 - PV Panels Area

Rev	Date	DRN	Description

Reddy Architects + Urbanism
 100, Upper Mount Street, Dublin 7
 T: +353 1 454 4444
 E: info@reddyarchitects.com
 W: www.reddyarchitects.com

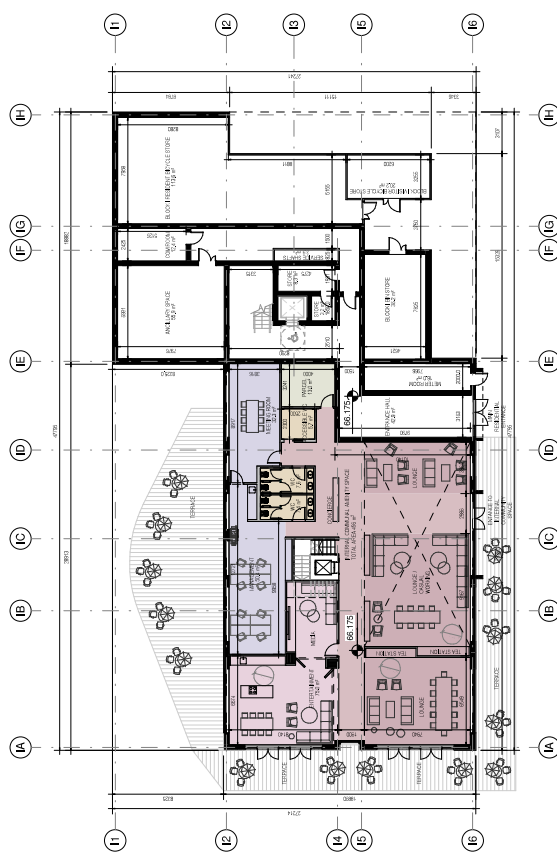
Client Name	Carlin Home Properties LTD
Project Name	Proposed Residential Development Barrington Tower, Barrinstown Road, Dublin 18
Town/ City	Dublin 18
Proposed Floor Plans	Block 1 - Lower Ground to Third Floor Plan
Job No.	P20-018D
Date	02/03/2022
Scale	As indicated
Drawn By	DM
Checked By	DM
Approved By	DM
Project No.	018
Revision	



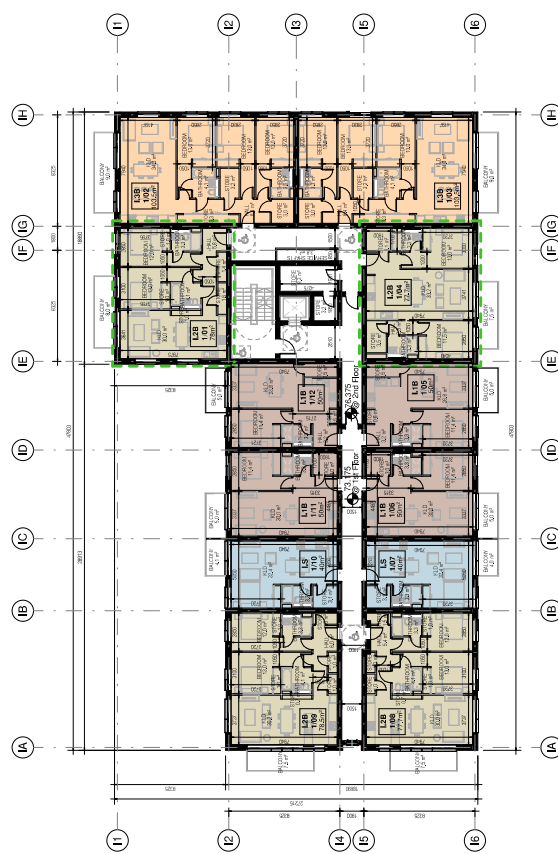
1 Block 1 - Proposed Lower Ground Floor Plan
 1:200



3 Block 1 - Proposed First to Second Floor Plan
 1:200



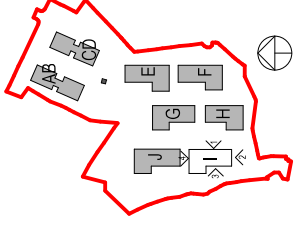
4 Block 1 - Proposed Third Floor Plan
 1:200



2 Block 1 - Proposed Ground Floor Plan
 1:200

Notes:
 1. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS IN ALL CASES.
 2. CONSULT WITH THE ARCHITECTS IMMEDIATELY IN THE EVENT OF ANY DISCREPANCY OR CONFLICT WITH THE ARCHITECTS SPECIFICATION OR THE DRAWINGS.
 3. THIS DRAWING IS THE PROPERTY OF REDDY ARCHITECTURE + URBANISM AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
 Drawing Mark:

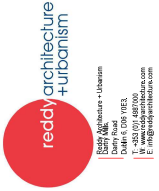
KEY PLAN:



EXTERNAL FINISHES

1. SELECTED BRICK TYPE 1 BUFF BRICK
2. SELECTED BRICK TYPE 2 DARK GREY BRICK
3. BRICK SOLDIER COURSE DETAIL
4. GREY RENDER FINISH
5. CANTILEVERED BALCONY
6. LIGHT GREY WINDOW FRAMES
7. AOV

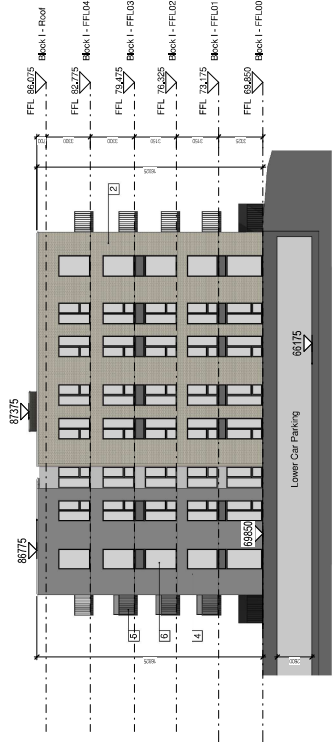
Part V Units



Client Name: Garin Home Properties LTD	
Project Detail: Proposed Residential Development Barrington Tower, Barrinstown Road, Dublin 18	
Drawing Title: Proposed Elevations - Block I	
Job No. P20-018D	Date 09/03/22
Scale 1/3	As indicated
Drawn By PB	Drawn For PB
Checked By GJM	Checked By GJM
Drawn Number	Revision
BRT-4-024-ZZQR-RAR-2007	



2 Proposed South Elevation - Block I
 1 : 200



4 Proposed North Elevation - Block I
 1 : 200



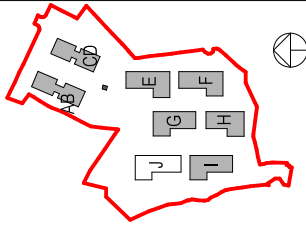
1 Proposed East Elevation - Block I
 1 : 200



3 Proposed West Elevation - Block I
 1 : 200

Notes:
 1. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS IN ALL CASES.
 2. CONSULT THE ARCHITECT'S SPECIFICATIONS TO THE DRAWINGS FOR MATERIALS AND FINISHES.
 3. THE ARCHITECTS ACCEPTS THE DRAWINGS TO BE EXAMINED AND APPROVED BY THE ARCHITECTS IMMEDIATELY. THE DRAWINGS TO BE EXAMINED AND APPROVED BY THE ARCHITECTS IMMEDIATELY.
 Drawing Name: BRT-402-AZZZDR-ALAR-0105

KEY PLAN:



- LEGEND:
- 40m² Studio Apartment
 - 50m² One Bed Apartment
 - 79m² Two Bed Apartment
 - 100m² Three Bed Apartment
 - 115m² Internal Amenity Space
 - Creche
 - Retail
 - Ancillary Space
 - Part V Unit
 - PV Panels Area

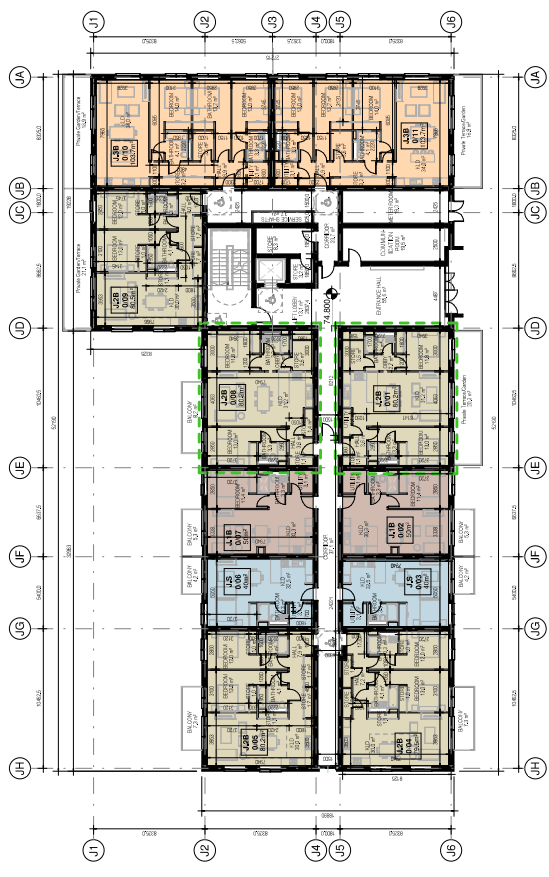
Rev	Date	DRN	Description

Reddy Architecture + Urbanism
 100/100 Street
 Dublin City Centre, Dublin 1
 T: +353 1 454 4444
 W: www.reddyarchitecture.com
 E: info@reddyarchitecture.com

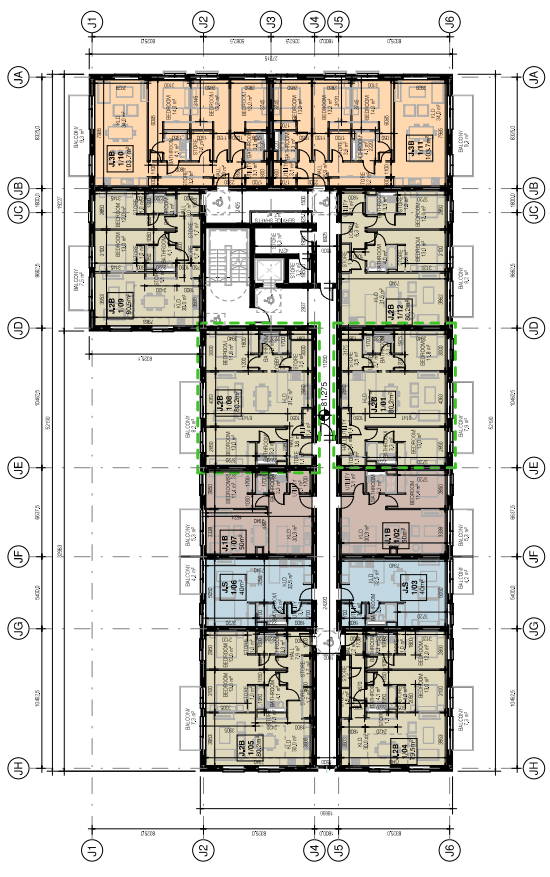
Client Name: Carri Home Properties LTD
 Project Name: Proposed Residential Development
 Location: Barrington Tower, Barrington Road, Dublin 18

Drawing Title: Proposed Floor Plans - Block J - Lower Ground Floor to Second Floor Plan

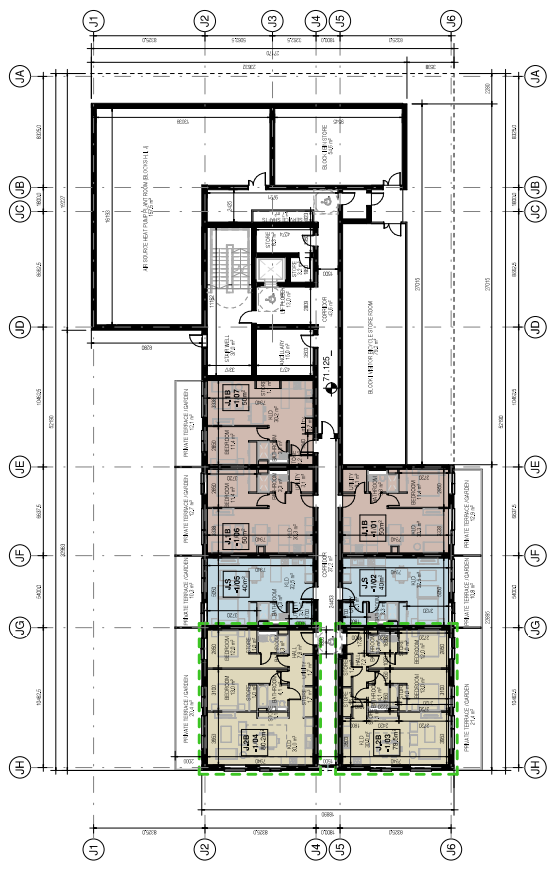
Job No.	Date	Scale	Drawn By
P20-018D	02/03/22	As indicated	DM
Status	PG		
Project Name			
Client Name			
Drawing Number			
Revision			



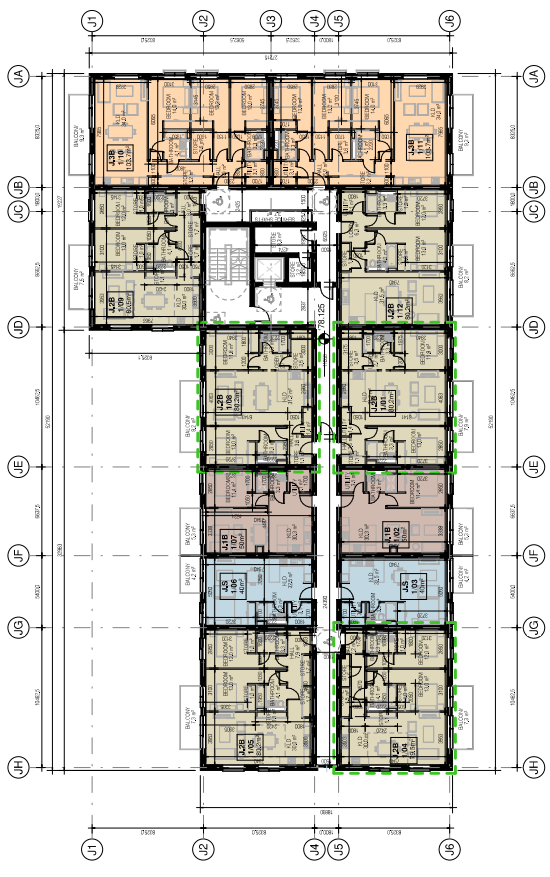
Block J - Proposed Ground Floor Plan
 1 : 200



Block J - Proposed Second Floor Plan
 4 : 200



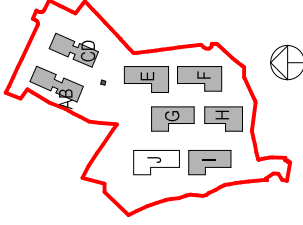
Block J - Proposed Lower Ground Floor Plan
 1 : 200



Block J - Proposed First Floor Plan
 3 : 200

Notes:
 1. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS IN ALL CASES.
 2. CONSULT THE ARCHITECT'S SPECIFICATION TO THE DRAWINGS FOR THE ARCHITECT'S INTENT. THE DRAWING TO BE EXAMINED IN CONNECTION WITH THE ARCHITECT'S SPECIFICATION TO THE DRAWINGS IS THE ARCHITECT'S INTENT. THE DRAWING TO BE EXAMINED IS THE ARCHITECT'S INTENT.
 Drawing Mark: 10/2023

KEY PLAN:



- LEGEND:
- Studio Apartment 40m²
 - One Bed Apartment 50m²
 - Two Bed Apartment 79m²
 - Three Bed Apartment 100m²
 - Three Bed Apartment 115m²
 - Internal Amenity Space
 - Ceche
 - Retail
 - Ancillary Space
 - Part V Unit
 - PV Panels Area

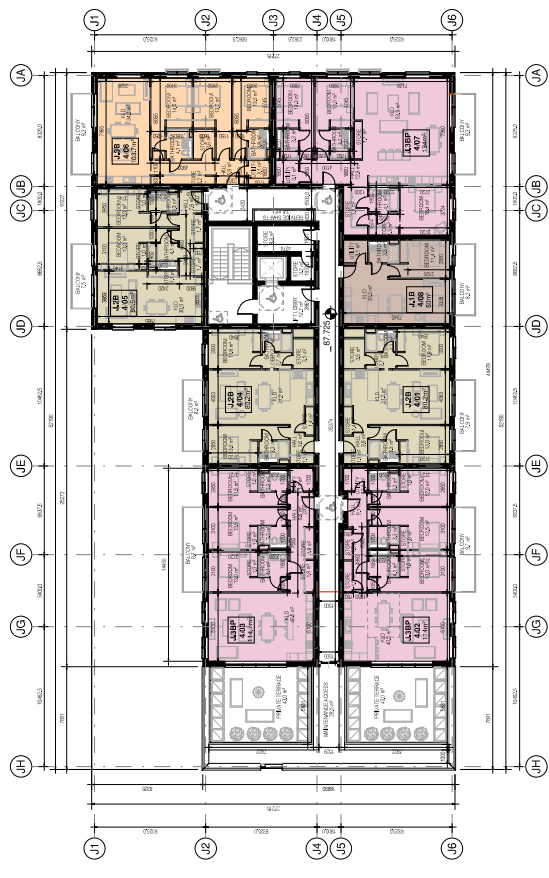
Rev	Date	DRN	Description

Reddy Architecture + Urbanism
 100, Dublin 6, D06 YK65
 W: www.reddyarchitecture.com
 E: info@reddyarchitecture.com

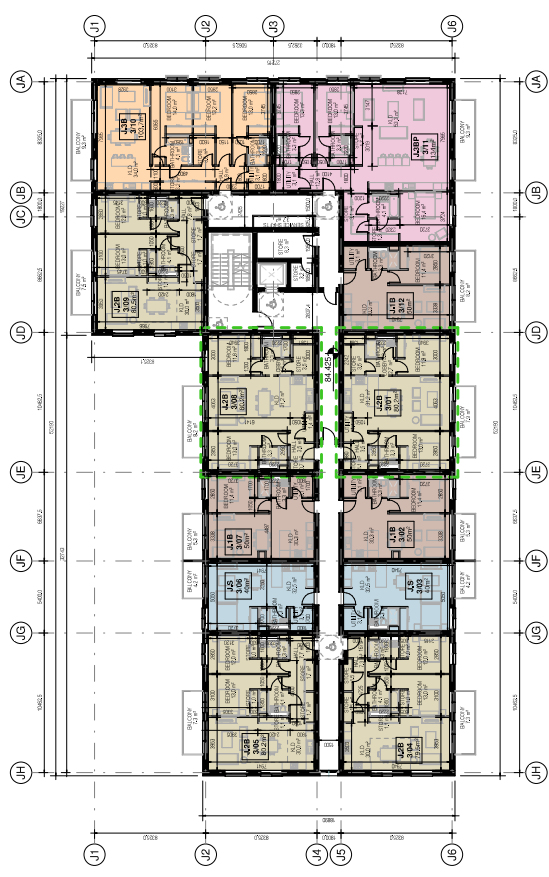
Client: Gavin Home Properties Ltd
 Project Name: Proposed Residential Development
 Barrington Tower, Barrington Road, Dublin 18

Drawing Title: Proposed Floor Plans - Block J - Third Floor to Roof Plan

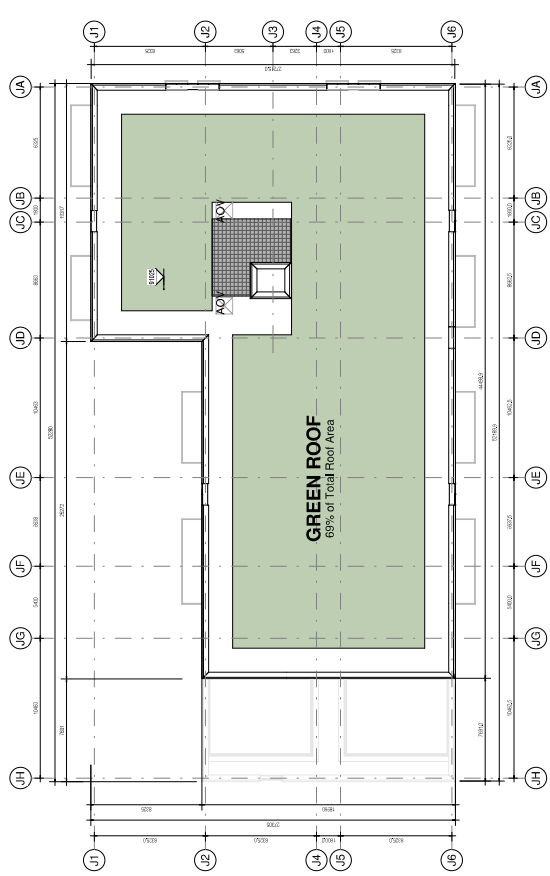
Job No.	Date	Scale
P20-016D	02/03/22	As indicated
Station		Drawn By
P3		DM
Project		Checked By
		SW
Drawing Number		Revision
BRT-406-AZZDR-RAJAR-017		



2 Block J - Proposed Fourth Floor Plan
1 : 200



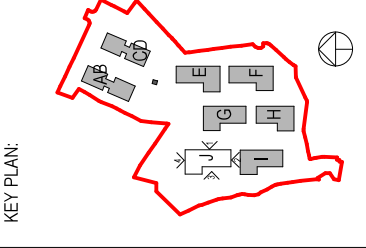
1 Block J - Proposed Third Floor Plan
1 : 200



3 Block J - Proposed Roof Plan
1 : 200

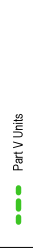
Note: DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS IN ALL CASES. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE. THE ARCHITECTS TAKE RESPONSIBILITY FOR THE COORDINATION WITH THE ARCHITECTS SPECIFICATION TO THE DRAWINGS AND THE CONSTRUCTION OF THE WORK. THE ARCHITECTS TAKE RESPONSIBILITY FOR THE DESIGN OF THE WORK. THE ARCHITECTS TAKE RESPONSIBILITY FOR THE DESIGN OF THE WORK.

Drawing Name: BRT-402-4-ZZZ-D-R-AJ-A-R-2008



KEY PLAN:

- EXTERNAL FINISHES**
1. SELECTED BRICK TYPE 1 BUFF BRICK
 2. SELECTED BRICK TYPE 2 DARK GREY BRICK
 3. BRICK SOLDIER COURSE DETAIL
 4. GREY RENDER FINISH
 5. CANTILEVERED BALCONY
 6. LIGHT GREY WINDOW FRAMES
 7. AOV



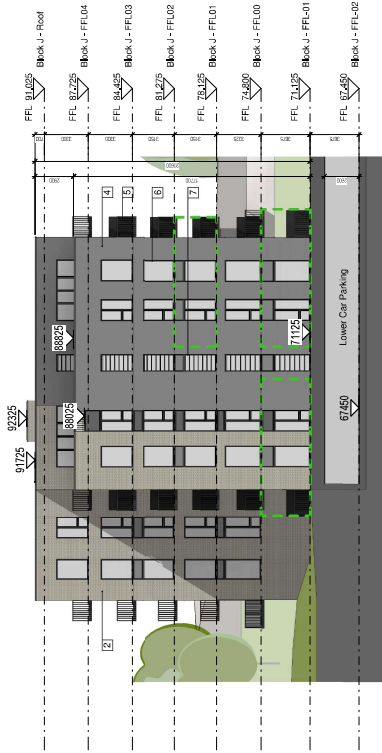
ready architecture + urbanism

Ready Architecture + Urbanism
 100, Victoria Road
 Dunfermline
 Fife KY11 4RT
 Tel: 01382 626262
 www.readyarchitecture.com

Client Name: Carm Home Properties LTD
 Project Name: Proposed Residential Development
 Barrington Lower, Barrinstown Road, Duffry 18

Drawing Title: Proposed Elevations - Block J

Job No.	Date	Scale	Drawn By
P20-018D	09/03/22	As indicated	PB
Client			
Project			
Revision			
Drawn by			
Checked by			
Approved by			
Project Number	BRT-402-4-ZZZ-D-R-AJ-A-R-2008		



2 Proposed South Elevation - Block J
1 : 200



4 Proposed North Elevation - Block J
1 : 200



1 Proposed East Elevation - Block J
1 : 200



3 Proposed West Elevation - Block J
1 : 200

Housing Department
An Rannóg Tithíochta
Aiden Conroy
Administrative Officer
Level 2 County Hall,
Marine Road,
Dún Laoghaire,
Co. Dublin
DD Tel: 01 2047936
aidenconroy@dlrcoco.ie

Cairn Homes Property Limited
7 Grand Canal
Grand Canal St Lower
Dublin 2

22nd March 2022

**Re: Proposed Build to Rent SHD Development at Barrington Tower,
Brennanstown Road, Dublin 18; Cairn Homes Properties Limited**

Dear Sirs,

I wish to acknowledge receipt of the Part V compliance proposal in respect of this Build to Rent development application which provides for the on-site lease of 53 units and confirm that this proposal is being considered and can form the basis of further compliance discussions.

Yours sincerely,

Aiden Conroy

Aiden Conroy
Administrative Officer
Housing Department

Appendix G - Irish Water Confirmation of Feasibility



Laura Ruiz

Eastpoint Business Park Block S
Alfie Byrne Road
Dublin 3
Dublin
D03H3F4

Uisce Éireann
Bosca OP 448
Oifig Sheachadta na
Cathrach Theas
Cathair Chorcaí

Irish Water
PO Box 448,
South City
Delivery Office,
Cork City.

www.water.ie

4 February 2022

Re: CDS22000317 pre-connection enquiry - Subject to contract | Contract denied

Connection for Multi/Mixed Use Development of 570 apartments, 1 creche and 1 retail unit at Brennanstown Road, Cabinteely, Dublin 18, Co. Dublin

Dear Sir/Madam,

Irish Water has reviewed your pre-connection enquiry in relation to a Water & Wastewater connection at Brennanstown Road, Cabinteely, Dublin 18, Co. Dublin (the Premises). Based upon the details you have provided with your pre-connection enquiry and on our desk top analysis of the capacity currently available in the Irish Water network(s) as assessed by Irish Water, we wish to advise you that your proposed connection to the Irish Water network(s) can be facilitated at this moment in time.

SERVICE	OUTCOME OF PRE-CONNECTION ENQUIRY <u>THIS IS NOT A CONNECTION OFFER. YOU MUST APPLY FOR A CONNECTION(S) TO THE IRISH WATER NETWORK(S) IF YOU WISH TO PROCEED.</u>
Water Connection	Feasible without infrastructure upgrade by Irish Water
Wastewater Connection	Feasible subject to upgrades
SITE SPECIFIC COMMENTS	
Water Connection	<p>This Confirmation of Feasibility to connect to the Irish Water infrastructure does not extend to your fire flow requirements. Please note that Irish Water cannot guarantee a flow rate to meet fire flow requirements and in order to guarantee a flow to meet the Fire Authority requirements, you should provide adequate fire storage capacity within your development.</p> <p>A bulk meter is required on both connections to the 6" uPVC main to the North of the site and linked up with telemetry online.</p>

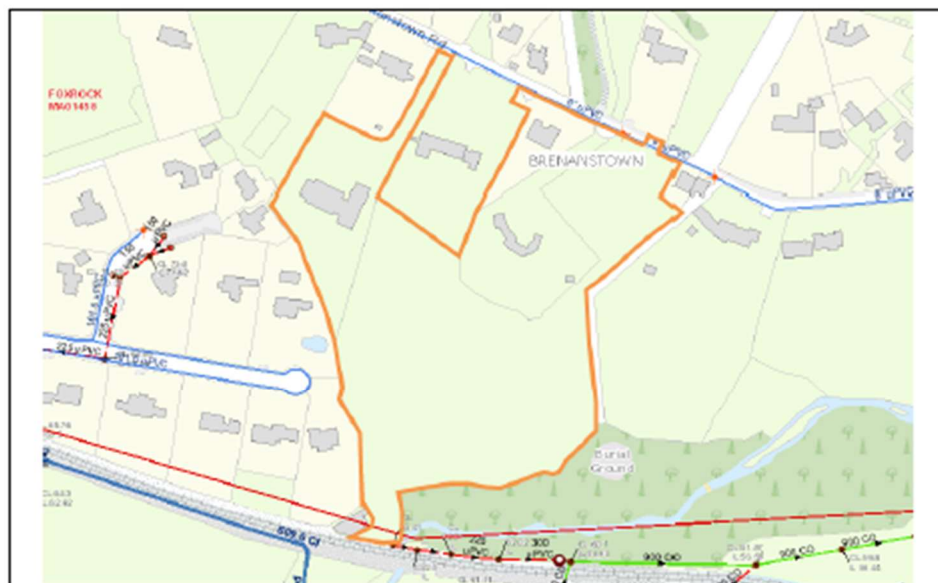
Stúirtheoirí / Directors: Cathal Marley (Chairman), Niall Gleeson, Eamon Gallen, Yvonne Harris, Brendan Murphy, Dawn O'Driscoll, Maria O'Dwyer
Oifig Chláraithe / Registered Office: Feach Coivil, 24-26 Sráid Thalbóid, Baile Átha Cliath 1, D01 NP86 / Coivil House, 24-26 Talbot Street, Dublin 1 D01 NP86
Is cúldeachtá ghníomhaíochta ainmnithe arís faoi theorainn scaireanna é Uisce Éireann / Irish Water is a designated activity company, limited by shares.
Uimhir Chláraithe in Éirinn / Registered in Ireland No.: 530363

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11/2/22

Wastewater Connection	Upgrade of the existing 225mm/300mm gravity sewer line (from the connection point up to the 900mm trunk sewer) may be required. The sewer has to be surveyed to confirm the capacity and integrity. Should you wish to progress with the connection, you will be required to fund the works and the fee will be calculated in the connection offer or in a separate survey/upgrade project agreement.
The design and construction of the Water & Wastewater pipes and related infrastructure to be installed in this development shall comply with the Irish Water Connections and Developer Services Standard Details and Codes of Practice that are available on the Irish Water website. Irish Water reserves the right to supplement these requirements with Codes of Practice and these will be issued with the connection agreement.	

The map included below outlines the current Irish Water infrastructure adjacent to your site:



Reproduced from the Ordnance Survey of Ireland by Permission of the Government. License No. 3-3-34

Whilst every care has been taken in its compilation Irish Water gives this information as to the position of its underground network as a general guide only on the strict understanding that it is based on the best available information provided by each Local Authority in Ireland to Irish Water. Irish Water can assume no responsibility for and give no guarantees, undertakings or warranties concerning the accuracy, completeness or up to date nature of the information provided and does not accept any liability whatsoever arising from any errors or omissions. This information should not be relied upon in the event of excavations or any other works being carried out in the vicinity of the Irish Water underground network. The onus is on the parties carrying out excavations or any other works to ensure the exact location of the Irish Water underground network is identified prior to excavations or any other works being carried out. Service connection pipes are not generally shown but their presence should be anticipated.

General Notes:

- 1) The initial assessment referred to above is carried out taking into account water demand and wastewater discharge volumes and infrastructure details on the date of the assessment. **The availability of capacity may change at any date after this assessment.**
- 2) This feedback does not constitute a contract in whole or in part to provide a connection to any Irish Water infrastructure. All feasibility assessments are subject to the constraints of the Irish Water Capital Investment Plan.
- 3) The feedback provided is subject to a Connection Agreement/contract being signed at a later date.
- 4) A Connection Agreement will be required to commencing the connection works associated with the enquiry this can be applied for at <https://www.water.ie/connections/get-connected/>
- 5) A Connection Agreement cannot be issued until all statutory approvals are successfully in place.
- 6) Irish Water Connection Policy/ Charges can be found at <https://www.water.ie/connections/information/connection-charges/>
- 7) Please note the Confirmation of Feasibility does not extend to your fire flow requirements.
- 8) Irish Water is not responsible for the management or disposal of storm water or ground waters. You are advised to contact the relevant Local Authority to discuss the management or disposal of proposed storm water or ground water discharges
- 9) To access Irish Water Maps email datarequests@water.ie
- 10) All works to the Irish Water infrastructure, including works in the Public Space, shall have to be carried out by Irish Water.

If you have any further questions, please contact Kevin McManmon from the design team at kmcmanmon@water.ie For further information, visit www.water.ie/connections.

Yours sincerely,



Yvonne Harris

Head of Customer Operations

Appendix H - Irish Water Statement of Design Acceptance



Laura Ruiz
Eastpoint Business Park Block S
Alfie Byrne Road
Dublin 3, Dublin D03H3F4

23 March 2022

Uisce Éireann
Bosca OP 448
Oifig Sheachadta na
Cathrach Theas
Cathair Chorcaí

Irish Water
PO Box 448,
South City
Delivery Office,
Cork City

www.water.ie

Re: Design Submission for Brennanstown Road, Cabinteely, Dublin 18, Co. Dublin (the "Development")
(the "Design Submission") / Connection Reference No: CDS22000317

Dear Laura Ruiz,

Many thanks for your recent Design Submission.

We have reviewed your proposal for the connection(s) at the Development. Based on the information provided, which included the documents outlined in Appendix A to this letter, Irish Water has no objection to your proposals.

This letter does not constitute an offer, in whole or in part, to provide a connection to any Irish Water infrastructure. Before you can connect to our network you must sign a connection agreement with Irish Water. This can be applied for by completing the connection application form at www.water.ie/connections. Irish Water's current charges for water and wastewater connections are set out in the Water Charges Plan as approved by the Commission for Regulation of Utilities (CRU) (https://www.cru.ie/document_group/irish-waters-water-charges-plan-2018/).

You the Customer (including any designers/contractors or other related parties appointed by you) is entirely responsible for the design and construction of all water and/or wastewater infrastructure within the Development which is necessary to facilitate connection(s) from the boundary of the Development to Irish Water's network(s) (the "Self-Lay Works"), as reflected in your Design Submission. Acceptance of the Design Submission by Irish Water does not, in any way, render Irish Water liable for any elements of the design and/or construction of the Self-Lay Works.

If you have any further questions, please contact your Irish Water representative:

Name: Kevin McManmon
Phone: 018230374
Email: kmcmanmon@water.ie

Yours sincerely,

Yvonne Harris
Head of Customer Operations

Appendix A

Document Title & Revision

- BRR-WM-ZZ-00-DR-C-P200
- BRR-WM-ZZ-00-DR-C-P300

For further information, visit www.water.ie/connections

Notwithstanding any matters listed above, the Customer (including any appointed designers/contractors, etc.) is entirely responsible for the design and construction of the Self-Lay Works. Acceptance of the Design Submission by Irish Water will not, in any way, render Irish Water liable for any elements of the design and/or construction of the Self-Lay Works.

Stiúrthóirí / Directors: Cathal Marley (Chairman), Niall Gleeson, Eamon Gallen, Yvonne Harris, Brendan Murphy, Dawn O'Driscoll, Maria O'Dwyer
Oifig Chláraithe / Registered Office: Teach Colvill, 24-26 Sráid Thailbóid, Baile Átha Cliath 1, D01 NP86 / Colvill House, 24-26 Talbot Street, Dublin 1 D01 NP86
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